



3573 HAYDEN AVENUE
CULVER CITY, CA 90232
310.399.7975
KFALOSANGELES.COM

DOWNTOWN WOMEN'S CENTER

501 E 5TH STREET
LOS ANGELES, CA 90013

DOWNTOWN WOMEN'S CENTER
442 SOUTH SAN PEDRO ST
LOS ANGELES, CA 90013

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**PLANNING SUBMITTAL
CHECKSET**

JOB NUMBER:
2021-003
DATE:
07.07.2021
REVISIONS:

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
G000



SHEET INDEX

GENERAL	ARCHITECTURAL	LANDSCAPE
G000 COVER SHEET	A00 PLOT PLAN	L2.10 FIRST FLOOR LANDSCAPE PLAN
G001 PROJECT INFORMATION	A101 LEVEL P1 PLAN	L2.20 SECOND FLOOR LANDSCAPE PLAN
G002 PROJECT CONTEXT	A110 FIRST FLOOR PLAN	L2.21 SECOND FLOOR LANDSCAPE VIEWS
G020 FAR CALCULATIONS	A120 SECOND FLOOR PLAN	
G021 OPEN SPACE CALCULATIONS	A130 THIRD FLOOR PLAN	
G080 SURVEY	A140 FOURTH FLOOR PLAN	
G081 SURVEY	A150 FIFTH FLOOR PLAN	
	A160 SIXTH FLOOR PLAN	
	A170 SEVENTH FLOOR PLAN	
	A180 ROOF PLAN	
	A200 ELEVATIONS	
	A201 ELEVATIONS	
	A202 RENDERINGS	
	A203 RENDERINGS	
	A204 RENDERINGS	
	A205 RENDERINGS	
	A300 BUILDING SECTION	
	A600 ENLARGED PLANS	

EXHIBIT "A"

Page No. 1 of 22

Case No. CPC-2021-2544-GPAJ-VZCJ-SPR-PSH-HCA

GENERAL NOTES

- 1. THE WORK SHALL CONFORM TO THE APPLICABLE BUILDING CODE, AND ALL OTHER ORDINANCES, CODES, AND REGULATIONS LISTED IN THE SPECIFICATIONS OR ON THE DRAWINGS, AND REQUIRED BY LOCAL BUILDING AUTHORITIES. THE GOVERNING CODES, RULES, AND REGULATIONS ARE COLLECTIVELY REFERRED TO AS "THE CODE". CONTRACTOR SHALL REPORT ANY INCONSISTENCIES, CONFLICTS OR OMISSIONS HE MAY DISCOVER TO THE ARCHITECT FOR INTERPRETATION PRIOR TO PERFORMING THE WORK.
2. CONSTRUCTION SHALL COMPLY WITH PERTINENT HEALTH AND SAFETY REGULATIONS FOR REQUIRED METHODS PROTECTING PUBLIC AND CONSTRUCTION WORKERS HEALTH AND SAFETY DURING THE CONSTRUCTION PERIOD.
3. BEFORE ORDERING ANY MATERIAL, OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE BUILDING SITE AND SHALL BE RESPONSIBLE FOR CORRECTNESS OF SAME.
4. DIMENSIONS SHALL BE AS INDICATED ON THE DRAWINGS. CLARIFICATIONS, IF REQUIRED, SHALL BE OBTAINED FROM THE ARCHITECT. THE DRAWING SHALL NOT BE SCALED.
5. ALL ITEMS MARKED NIC ON THE SPECIFICATIONS AND DRAWINGS MEANS NOT IN CONTRACT.
6. DO NOT MAKE ANY SUBSTITUTIONS WITHOUT PERMISSION OF THE ARCHITECT OR THE OWNER.
7. WORK INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS AS NIC, OR BY SEPARATE CONTRACTORS, IS NOT PART OF THIS CONTRACT. CONTRACTOR SHALL COOPERATE FULLY WITH ALL SEPARATE CONTRACTORS EMPLOYED BY THE OWNER.
8. THE CLIENT, ARCHITECT, CONSULTANTS, AND ALL INSPECTORS FROM PERTINENT AGENCIES SHALL BE PERMITTED ACCESS TO THE JOB SITE AT ALL TIMES DURING NORMAL WORKING HOURS.
9. WINDOW AND DOOR DIMENSIONS FOR PREFABRICATED WINDOW AND DOOR UNITS HAVE BEEN ROUNDED TO THE NEAREST INCH ON THE DRAWINGS. SPECIFIC DIMENSIONS BY MANUFACTURERS MAY VARY FROM THE DRAWINGS.
10. THE CONTRACTOR SHALL VERIFY LOCATION AND SIZE OF ALL FLOOR, ROOF, AND WALL OPENINGS WITH ALL APPLICABLE DRAWINGS.
11. DETAILS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE FIELD DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK OF THE CONTRACT.
12. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHODS OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES INCLUDING, BUT NOT LIMITED TO BRACING AND SHORING. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT AND/OR ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES TO THE CONSTRUCTION PROCEDURES.
ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND/OR ENGINEER DURING THE CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH IS FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND/OR ENGINEER, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING, OR AFTER COMPLETION OF CONSTRUCTION, ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING GENERAL CONFORMANCE WITH CONTRACT DOCUMENTS, BUT DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
IN THE EVENT OF CONFLICTING REQUIREMENTS BETWEEN ITEMS ON THE DRAWING OR BETWEEN ITEMS IN THE SPECIFICATIONS, OR BETWEEN ITEMS ON THE DRAWINGS AND IN THE SPECIFICATIONS, THE MORE STRINGENT OR COSTLY SHALL GOVERN, UNLESS DECIDED OTHERWISE BY THE ARCHITECT.

UNIT MATRIX

Table with columns: UNIT NUMBER, UNIT TYPE, UNIT AREA. Rows include 2ND FLOOR, 3RD FLOOR, 4TH FLOOR, 5TH FLOOR, 6TH FLOOR, 7TH FLOOR, and 8TH FLOOR with various unit types and areas.

REQUIRED PARKING

NO PARKING REQUIRED, PER AB 1763 TABLE 22.120.080-A PARKING RATIOS, NOTE 7: NO PARKING REQUIRED FOR SUPPORTIVE HOUSING DEVELOPMENT, AS DEFINED IN SECTION 50675.14 OF THE CALIFORNIA HEALTH AND SAFETY CODE.
PARKING SCHEDULE (STALL SIZE)
LEVEL P1
COMPACT 11
STANDARD 33
TANDEM 12
LEVEL P1
ACCESSIBLE 3
STANDARD 1
1ST FLOOR
GRAND TOTAL 60
3 ACCESSIBLE SPACES INCLUDING 1 VAN-ACCESSIBLE. 5% EVCS REQUIRED (60 TOTAL SPACES X .05 = 3 SPACES TOTAL)
BIKE PARKING
REQUIRED LONG TERM BIKE PARKING
UNITS 1-25 = 1 PER 1 UNIT = 25/1 = 25 SPACES
UNITS 26-100 = 1 PER 1.5 UNITS = 73/1.5 = 49 SPACES
REQUIRED 74 SPACES REQUIRED
REQUIRED SHORT TERM BIKE PARKING
UNITS 1-25 = 1 PER 10 UNITS = 25/10 = 2.5 SPACES
UNITS 26-100 = 1 PER 15 UNITS = 73/15 = 4.9 SPACES
REQUIRED 8 SPACES REQUIRED
PROVIDED LONG TERM BIKE PARKING = 74 SPACES
PROVIDED SHORT TERM BIKE PARKING = 8 SPACES

FAR

LOT AREA: 29,596 SF
MULTIPLIER: 3.0:1
ALLOWABLE FAR: LOT AREA X MULTIPLIER = 29,596 SF X 3 = 88,788 SF
PROPOSED FAR: 68,869 SF/29,596 SF: 1 2.33:1
LEVEL FAR AREA (SF)
1ST FLOOR RESIDENTIAL 15253
2ND FLOOR RESIDENTIAL 9390
3RD FLOOR RESIDENTIAL 9088
4TH FLOOR RESIDENTIAL 8929
5TH FLOOR RESIDENTIAL 8816
6TH FLOOR RESIDENTIAL 8620
7TH FLOOR RESIDENTIAL 8773
GRAND TOTAL 68869
OPEN SPACE
OPEN SPACE REQUIREMENTS PER LAMC 12.21 G:
100 SF/UNIT < 3 HABITABLE ROOMS (STUDIO & 1 BR UNITS)
125 SF/UNIT = 3 HABITABLE ROOMS (2 BR UNITS)
175 SF/UNIT > 3 HABITABLE ROOMS (3 BR UNITS)
NOTE: 1. A KITCHEN IS NOT CONSIDERED A HABITABLE ROOM FOR PURPOSES OF CALCULATING OPEN SPACE.
PERCENT OF LANDSCAPED OPEN SPACE
LANDSCAPED OPEN 25%
REQUIRED OPEN SPACE
NAME # OF UNITS REQ'D OPEN SPACE
STUDIO UNIT 97 9700 SF
MANAGER'S UNIT 1 125 SF
Grand total 9825 SF
REQUIRED LANDSCAPED OPEN SPACE = 9.825 SF X 0.25 = 2,457 SF
ALLOWABLE INDOOR COMMON SPACE = 9.825 SF X 0.25 = 2,457 SF
PROPOSED OPEN SPACE
LEVEL NAME Area
INDOOR
1ST FLOOR COMMUNITY ROOM 1339 SF
2ND FLOOR COMMUNITY ROOM A 402 SF
2ND FLOOR COMMUNITY ROOM B 696 SF
2437 SF
OUTDOOR
1ST FLOOR ENTRY COURTYARD 1651 SF
2ND FLOOR NORTH COURTYARD 4855 SF
2ND FLOOR SOUTH COURTYARD 1090 SF
7596 SF
GRAND TOTAL 10034 SF

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
THAT PORTION OF LOT "A" OF TRACT NO. 1133, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18 PAGE 109 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT "A"; THENCE ALONG THE WESTERLY LINE OF SAID LOT NORTH 27 DEGREES 15' EAST 139.38 FEET, MORE OR LESS, TO THE SOUTHWEST CORNER OF THE LAND DESCRIBED IN THE DEED TO THOMAS E. GIBBON RECORDED ON MAY 10, 1933 AS INSTRUMENT NO. 795 IN BOOK 12127 PAGE 254 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE ALONG THE SOUTHWESTERLY LINE OF THE LAND DESCRIBED IN SAID DEED, SOUTHEASTERLY 150 FEET, MORE OR LESS, IN A DIRECT LINE, TO A POINT IN THE WESTERLY LINE OF THE STRIP OF LAND DESCRIBED IN PARCEL 2 OF THE DEED TO PATTEN AND DAVIES LUMBER COMPANY, RECORDED ON MAY 19, 1924 AS INSTRUMENT NO. 32 IN BOOK 3073 PAGE 332 OF SAID OFFICIAL RECORDS, SAID POINT BEING DISTANT SOUTH 27 DEGREES 15' WEST 102.97 FEET ALONG SAID WESTERLY LINE FROM THE SOUTHERLY LINE OF THE 40 FOOT RIGHT OF WAY ESTABLISHED BY AGREEMENT BETWEEN H.D. BOWMAN AND WIFE, AND CENTRAL PROPERTIES COMPANY, RECORDED ON MAY 6, 1922 AS INSTRUMENT NO. 16 IN BOOK 1053 PAGE 271 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE ALONG SAID WESTERLY LINE OF SAID STRIP OF LAND SOUTH 27 DEGREES 15' WEST 164.70 FEET, MORE OR LESS, TO THE SOUTHWESTERLY LINE OF SAID LOT "A"; THENCE ALONG SAID SOUTHWESTERLY LINE NORTH 53 DEGREES 12' WEST 152.11 FEET, MORE OR LESS TO THE POINT OF BEGINNING.

PROJECT INFORMATION

PROJECT NAME: DOWNTOWN WOMEN'S CENTER
ADDRESS: 501 E 5TH ST, LOS ANGELES, CA 90013
OWNER: DOWNTOWN WOMEN'S CENTER
PROJECT DESCRIPTION: 97 UNITS OF RESTRICTED AFFORDABLE PERMANENT SUPPORTIVE HOUSING STUDIO UNITS & 1 (2-BEDROOM) MANAGER UNIT OVER 1 LEVEL OF SUBTERRANEAN PARKING
CONSTRUCTION TYPE: TYPE IIIA OVER TYPE IA
ZONING: M2-2D (EXISTING) [T]O[C]2-2D (PROPOSED)
FLOOD ZONE: X
SITE AREA: 29,596 SF
SET BACKS: PER ZI-2385 GREATER DOWNTOWN HOUSING INCENTIVE. FRONT: NONE REQUIRED SIDE: NONE REQUIRED REAR: NONE REQUIRED
ALLOWABLE DENSITY: 1 DWELLING PER 200 SF (DEVELOPED PER R5) 29,596 SF (LOT AREA)/200 SF/DFU = 148 UNITS UNLIMITED DENSITY ALLOWED PER ZI-2385 GREATER DOWNTOWN HOUSING INCENTIVE
PROPOSED DENSITY: 98 UNITS (97 STUDIOS + 1 MANAGER UNIT)
ALLOWABLE BLDG HEIGHT: UNLIMITED
PROPOSED BLDG HEIGHT: 85'-0" (7 STORIES)
OCCUPANCY TYPE: R-2 RESIDENTIAL S-2 PARKING GARAGE B OFFICES

ARCHITECTURAL ABBREVIATIONS

Table of architectural abbreviations including symbols like @, AB, AC, ACT, ADA, ADJ, AFF, ALT, ALUM, APPROX, ARCH, BD, BF, BLK, BM, BTWN, BUR, CAB, CIP, CJ, C, CL, CLF, CLG, CLR, CMU, COL, CONC, CONNX, CONST, CONT, CONTR, COORD, CPT, CRS, CT, (D), DAS, DBL, DET, DIA, DIM, DN, DS, DWG, (E), ELECT, ENGR, EOS, EQ, EXT, FAB, FE, FF and their corresponding descriptions.

ARCHITECTURAL ABBREVIATIONS

Table of architectural abbreviations including symbols like FG, FIN, FLR, FJ, FMC, FO, FOC, FOF, FOM, FOSS, FOST, FOS, FR, Ga, GALV, GB, GC, GYP BD, HB, HC, HD, HDR, HM, HR, HSS, HT, INS, INT, JST, LAM, LAV, LIN, MAX, MECH, MFR, MIN, MISC, MOD, MR, MTD, MTL, N, (N), NIC, NTS, OC, OFCI, OFOI, OFVI, OH, OPNG, OP, PERF, PIP, PLAM, POC, PR, PT, PTD, QTY, R, RCP, RD, REF, REQ'D, REV, RJ, RM, ROW, SC, SCW, SEC, SF, SHT, SHTG, SIM, SL, SPEC, ST STL, STD, STL, STRUCT, TBD, TH, THK, TJ, TO, TOC, TOP, TOPO, TOS, TOSHTG, TOW, TR, TYP, UNO, VCT, VERT, VIF, W, WC, WD, WH, WP, WPT.

EXHIBIT "A"
Page No. 2 of 22
Case No. CPC-2021-2544-GPAJ-VZCJ-SPR-PSH-HCA

BUILDABLE AREA



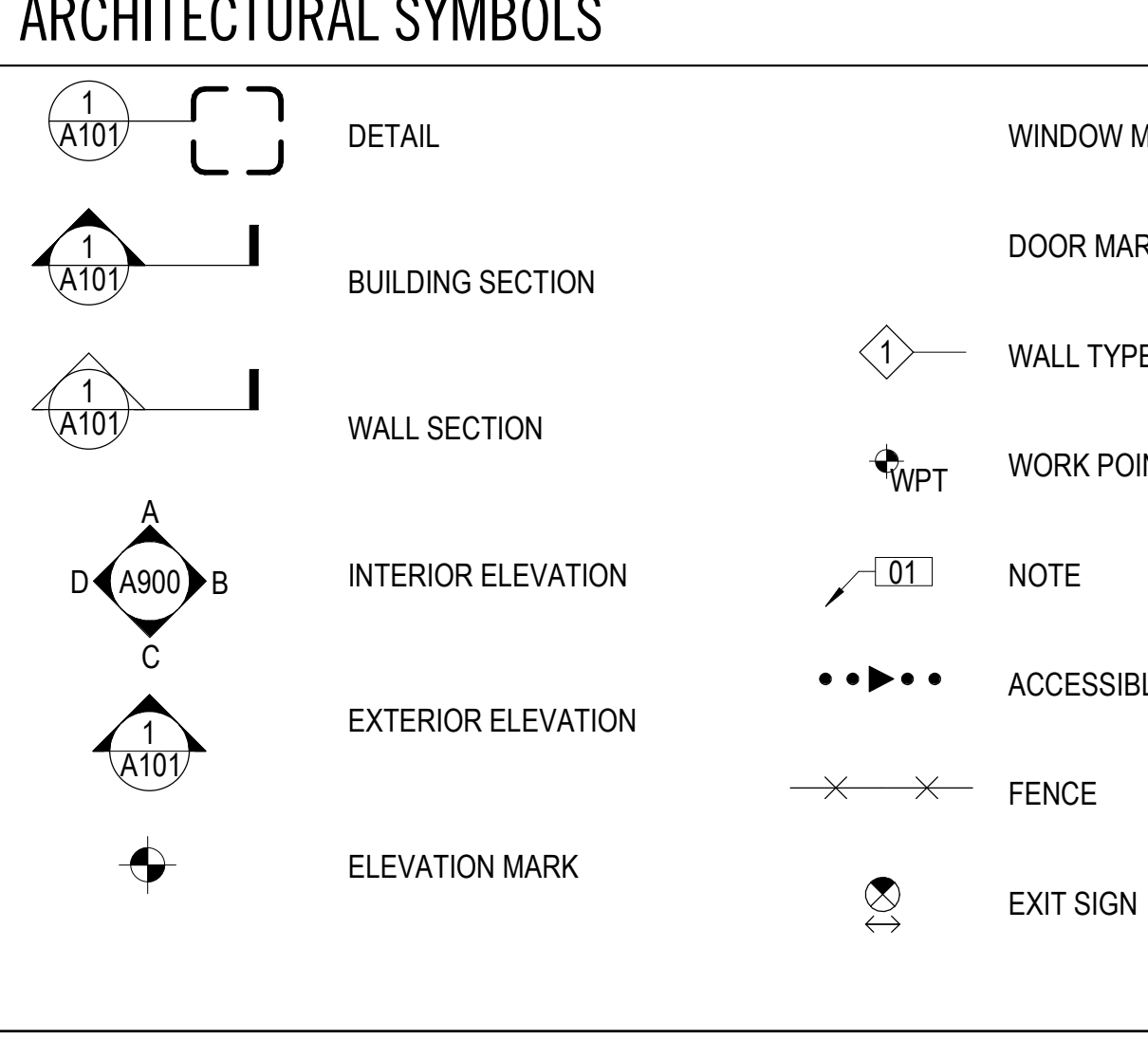
SUSTAINABLE BLDG METHODS COMPLIANCE

SUSTAINABLE BUILDING METHODS COMPLIANCE CERTIFICATION
OUTDOOR WATER CONSERVATION MEASURES:
THE PROJECT INCORPORATES OUTDOOR WATER CONSERVATION MEASURES THAT INCLUDE:
A) THE USE OF NATIVE OR DROUGHT-TOLERANT PLANTS FOR A MINIMUM OF 75% OF LANDSCAPED AREA. NATIVE OR DROUGHT-TOLERANT PLANTS WILL BE SELECTED FROM THE LOS ANGELES COUNTY'S DROUGHT-TOLERANT PLANT LIST OR THE LOCAL JURISDICTION'S DROUGHT-TOLERANT PLANT LIST, IF REQUIRED TO DO SO BY THE LOCAL JURISDICTION.
B) LIMIT CONVENTIONAL GRASS/TURF TO 25% OF LANDSCAPED AREA
C) GROUP PLANTS WITH SIMILAR WATERING NEEDS (HYDROZONES)
D) INSTALL HIGH EFFICIENCY IRRIGATION SYSTEM WITH SMART IRRIGATION CONTROLS FOR ALL LANDSCAPING
RECYCLING:
THE PROJECT, AT MINIMUM SHALL RECYCLE AND/OR SALVAGE 70% OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS
RECYCLING AREA:
THE PROJECT PROVIDES AN EASILY-ACCESSIBLE RECYCLING AREA FOR TENANT USE THAT SERVICES THE ENTIRE BUILDING

BUILDING CODES USED

2020 LOS ANGELES BUILDING CODE (LABC), PART 2, TITLE 24 C.C.R. AND AMENDMENTS
2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R. AND AMENDMENTS
2019 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24, C.C.R. AND AMENDMENTS
2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24, C.C.R. AND AMENDMENTS
2019 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24, C.C.R. AND AMENDMENTS
2019 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24 C.C.R.
2019 CALIFORNIA GREEN BUILDING CODE, TITLE 24, PART 6

ARCHITECTURAL SYMBOLS



PROJECT TEAM

OWNER: DOWNTOWN WOMEN'S CENTER
DESIGN ARCHITECT: GENSLER
OWNER'S REPRESENTATIVE: DAYLIGHT COMMUNITY DEVELOPMENT
CIVIL ENGINEER: DK ENGINEER CORP
ARCHITECT OF RECORD: KFA, LLP
STRUCTURAL ENGINEER: GEOCON WEST, INC.
MEP ENGINEER: DONALD F. DICKERSON ASSOCIATES
LANDSCAPE ARCHITECT: IPLACE
GEO TECHNICAL ENGINEER: GEOCON WEST, INC.

KFA logo, 3573 HAYDEN AVENUE CULVER CITY, CA 90232 310.399.7975 KFALOSANGELES.COM, DOWNTOWN WOMEN'S CENTER 501 E 5TH STREET LOS ANGELES, CA 90013, PROJECT INFORMATION 07.07.2021, SHEET NUMBER 001



3573 HAYDEN AVENUE
CULVER CITY, CA 90232
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KFALOSANGELES.COM

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PLANNING SUBMITTAL CHECKSET

JOB NUMBER:
2021-003
DATE:
07.07.2021

REVISIONS:

SHEET TITLE: FAR CALCULATIONS

SHEET NUMBER:
020

DATE: 7/1/21

NOTES

LOT AREA: 29,596 SF
MULTIPLIER: 3.0:1
ALLOWABLE FAR: LOT AREA X MULTIPLIER
= 29,596 SF X 3 = 88,788 SF
PROPOSED FAR: 68,869 SF/29,596 SF: 1
2.33:1

PROPOSED FAR

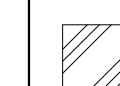
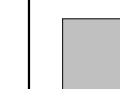
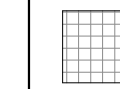

LEVEL	FAR	AREA (SF)
1ST FLOOR	RESIDENTIAL	15253
2ND FLOOR	RESIDENTIAL	9390
3RD FLOOR	RESIDENTIAL	9088
4TH FLOOR	RESIDENTIAL	8929
5TH FLOOR	RESIDENTIAL	8816
6TH FLOOR	RESIDENTIAL	8620
7TH FLOOR	RESIDENTIAL	8773
GRAND TOTAL		68869

SHEET NOTES

MEASUREMENT PER LAMC 12.03:
AREA IN SQUARE FEET CONFINED WITHIN THE
EXTERIOR WALLS OF A BUILDING, BUT NOT
INCLUDING THE AREA OF THE FOLLOWING:
EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS
HOUSING BUILDING EQUIPMENT OR MACHINERY,
PARKING AREAS WITH ASSOCIATED DRIVEWAYS
AND RAMPS, SPACE FOR THE LANDING AND
STORAGE OF HELICOPTERS, AND BASEMENT
STORAGE AREAS.

LEGEND

FAR LEGEND

-  COMMERCIAL
-  PARKING
-  RESIDENTIAL
-  SHAFT (NOT FAR)



1ST FLOOR FAR PLAN
1" = 20'-0"

1



4TH FLOOR FAR PLAN
1" = 20'-0"

11



7TH FLOOR PLAN
1" = 20'-0"

21



2ND FLOOR FAR PLAN
1" = 20'-0"

3



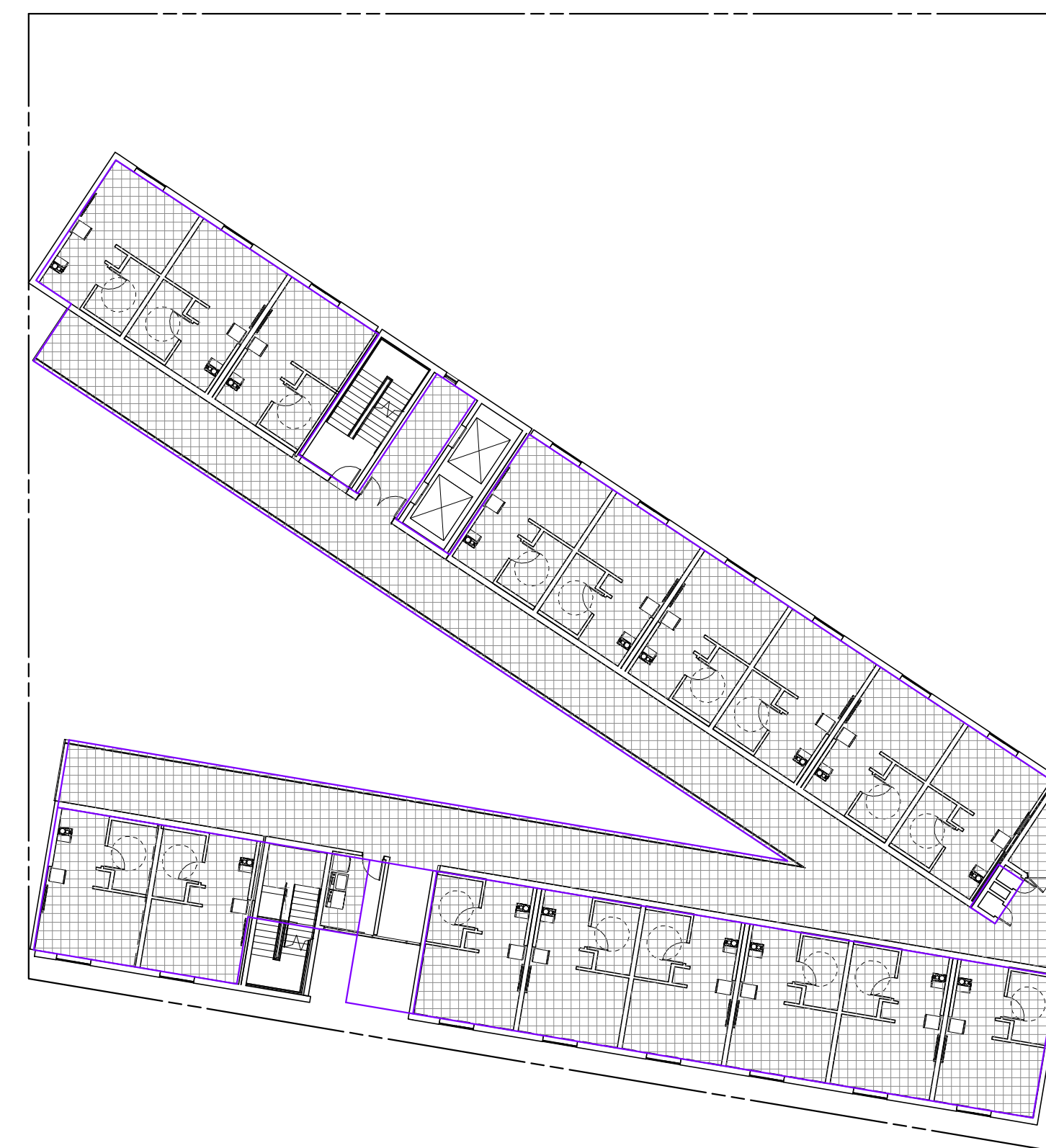
5TH FLOOR FAR PLAN
1" = 20'-0"

13



3RD FLOOR FAR PLAN
1" = 20'-0"

5



6TH FLOOR FAR PLAN
1" = 20'-0"

15

EXHIBIT "A"
Page No. 3 of 22
Case No. CPC-2021-2544-GPAJ-VZCJ-SPR-PSH-HCA



3573 HAYDEN AVENUE
CULVER CITY, CA 90232
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KFA@LOSANGELES.COM

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PLANNING SUBMITTAL CHECKSET

PROJECT NUMBER:
2021-003
DATE:
07.07.2021
REVISED:

SHEET TITLE: OPEN SPACE CALCULATIONS

SHEET NUMBER:
6021

NOTES

OPEN SPACE REQUIREMENTS PER LAMC 12.21 G:
100 SF/UNIT < 3 HABITABLE ROOMS (STUDIO & 1 BR UNITS)
125 SF/UNIT = 3 HABITABLE ROOMS (2 BR UNITS)
175 SF/UNIT > 3 HABITABLE ROOMS (3 BR UNITS)

NOTE:
1. A KITCHEN IS NOT CONSIDERED A HABITABLE ROOM FOR PURPOSES OF CALCULATING OPEN SPACE.

PERCENT OF LANDSCAPED OPEN SPACE
LANDSCAPED OPEN 25%.

REQUIRED OPEN SPACE

NAME	# OF UNITS	REQ'D OPEN SPACE
STUDIO UNIT	97	9700 SF
MANAGER'S UNIT	1	125 SF
Grand total		9825 SF

REQUIRED LANDSCAPED OPEN SPACE =
9,825 SF X 0.25 = 2,457 SF

ALLOWABLE INDOOR COMMON SPACE =
9,825 SF X 0.25 = 2,457 SF

PROPOSED OPEN SPACE

LEVEL	NAME	Area
INDOOR		
1ST FLOOR	COMMUNITY ROOM	1339 SF
2ND FLOOR	COMMUNITY ROOM A	402 SF
2ND FLOOR	COMMUNITY ROOM B	696 SF
		2437 SF
OUTDOOR		
1ST FLOOR	ENTRY COURTYARD	1651 SF
2ND FLOOR	NORTH COURTYARD	4855 SF
2ND FLOOR	SOUTH COURTYARD	1090 SF
		7596 SF
GRAND TOTAL		10034 SF

LEGEND

- COMMUNITY ROOM
- COMMUNITY ROOM A
- COMMUNITY ROOM B
- ENTRY COURTYARD
- NORTH COURTYARD
- SOUTH COURTYARD

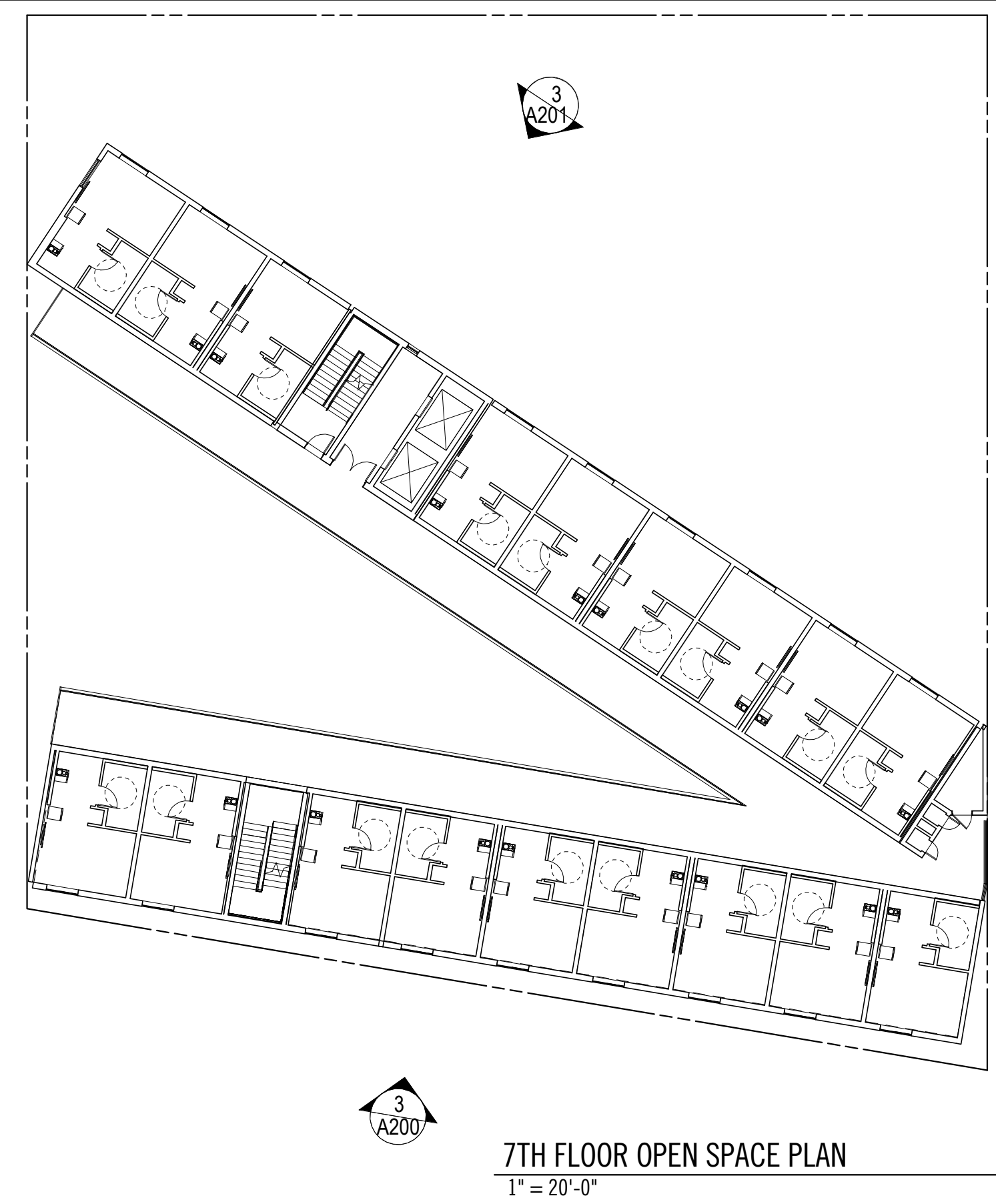
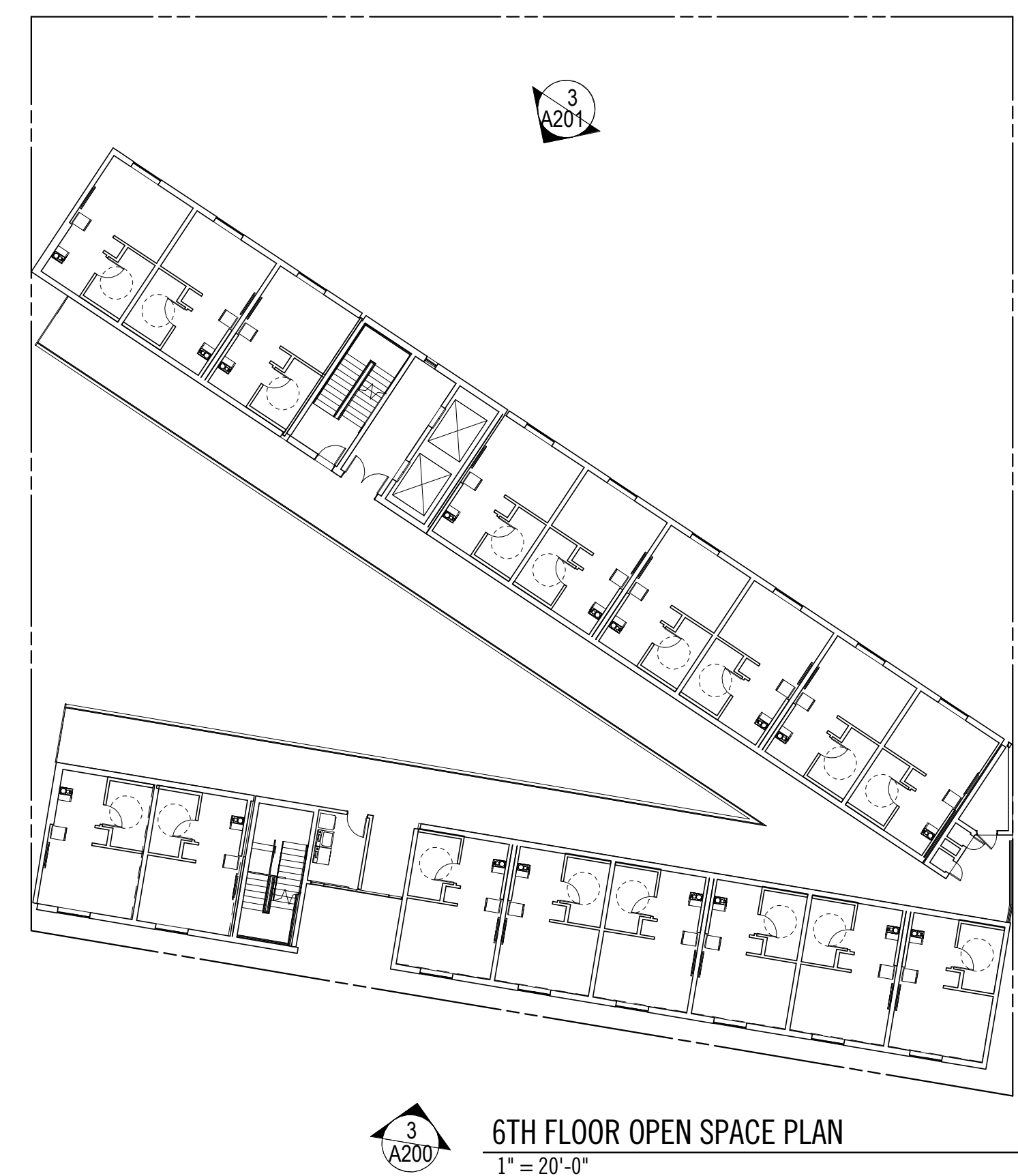
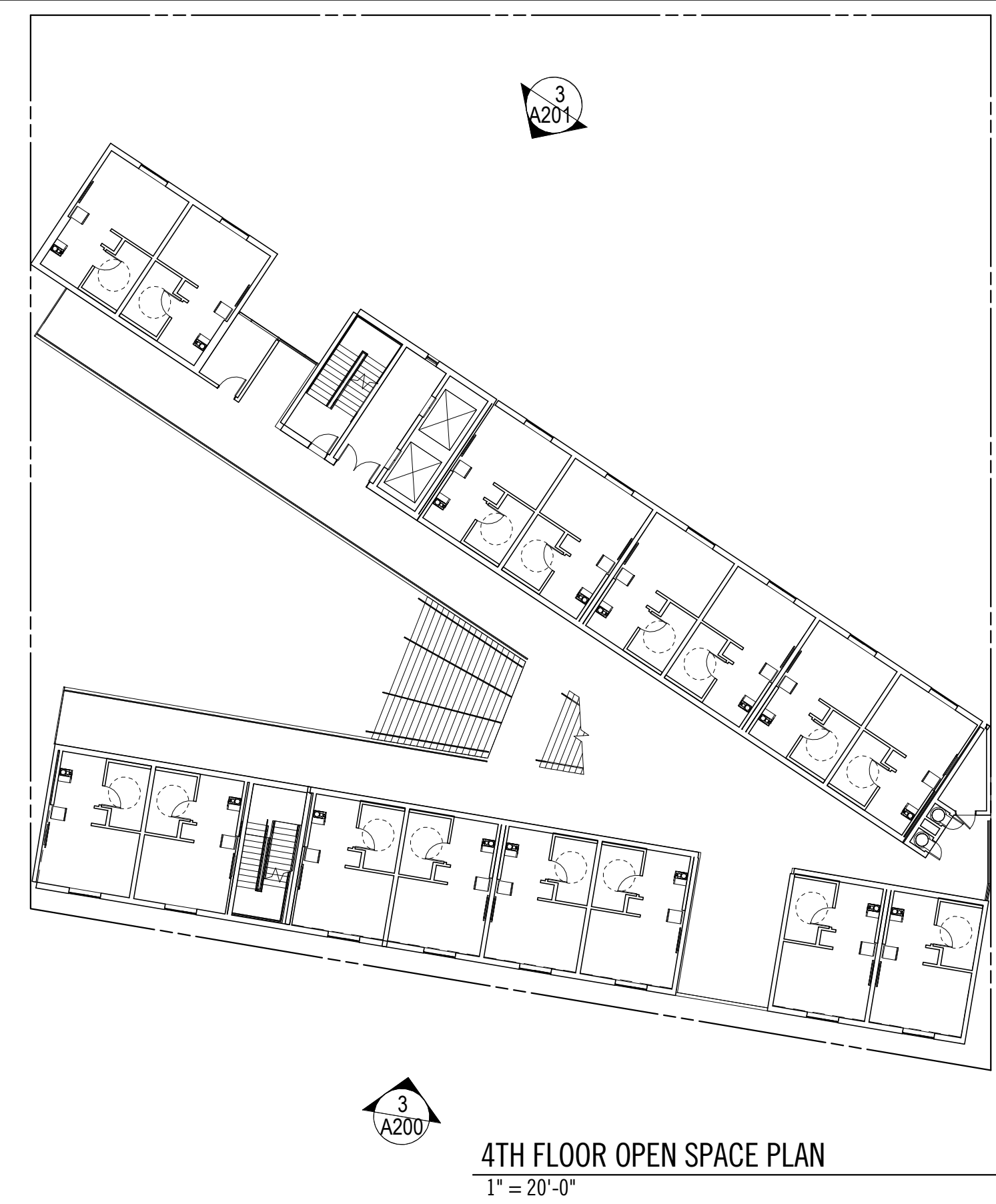
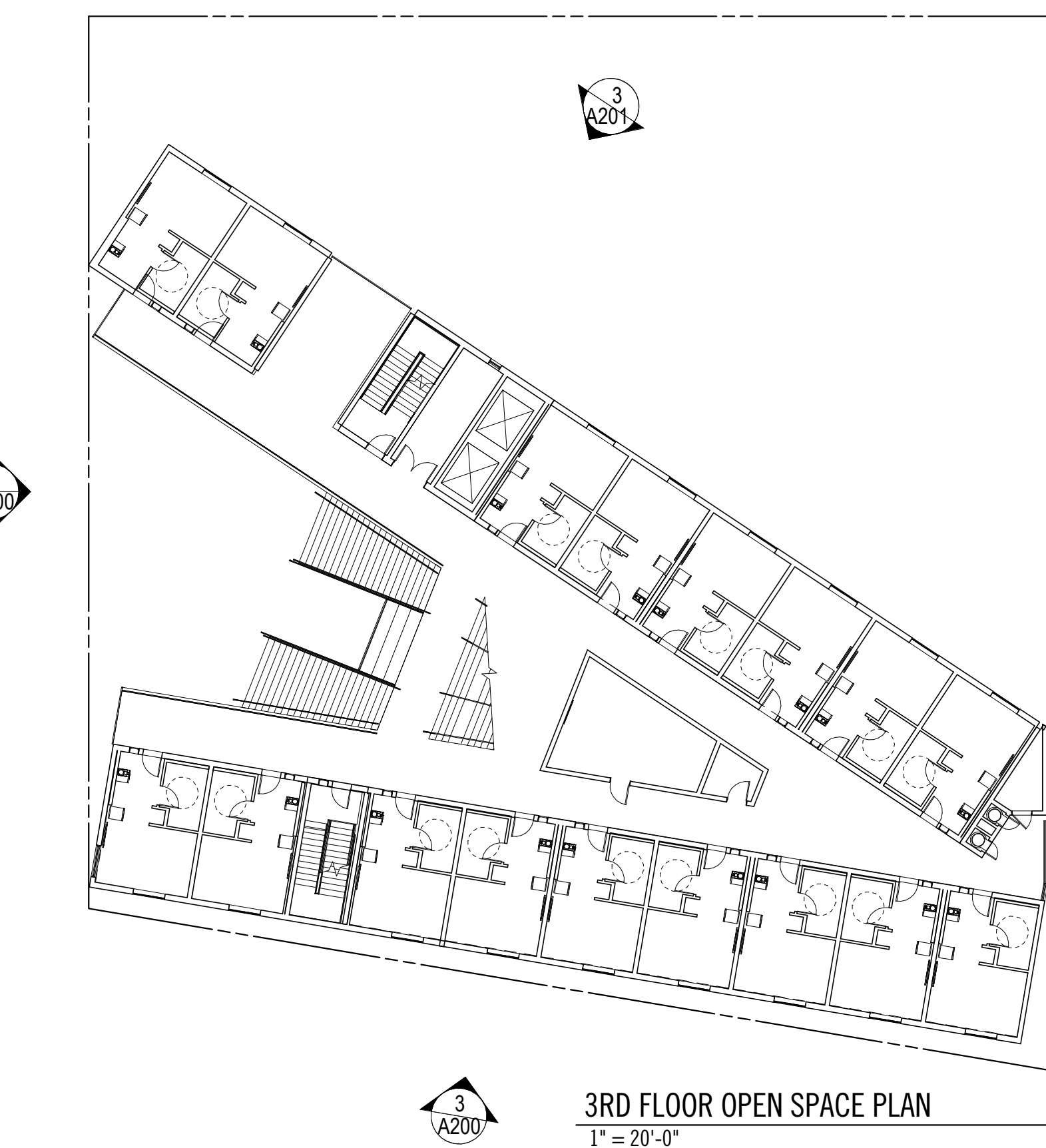
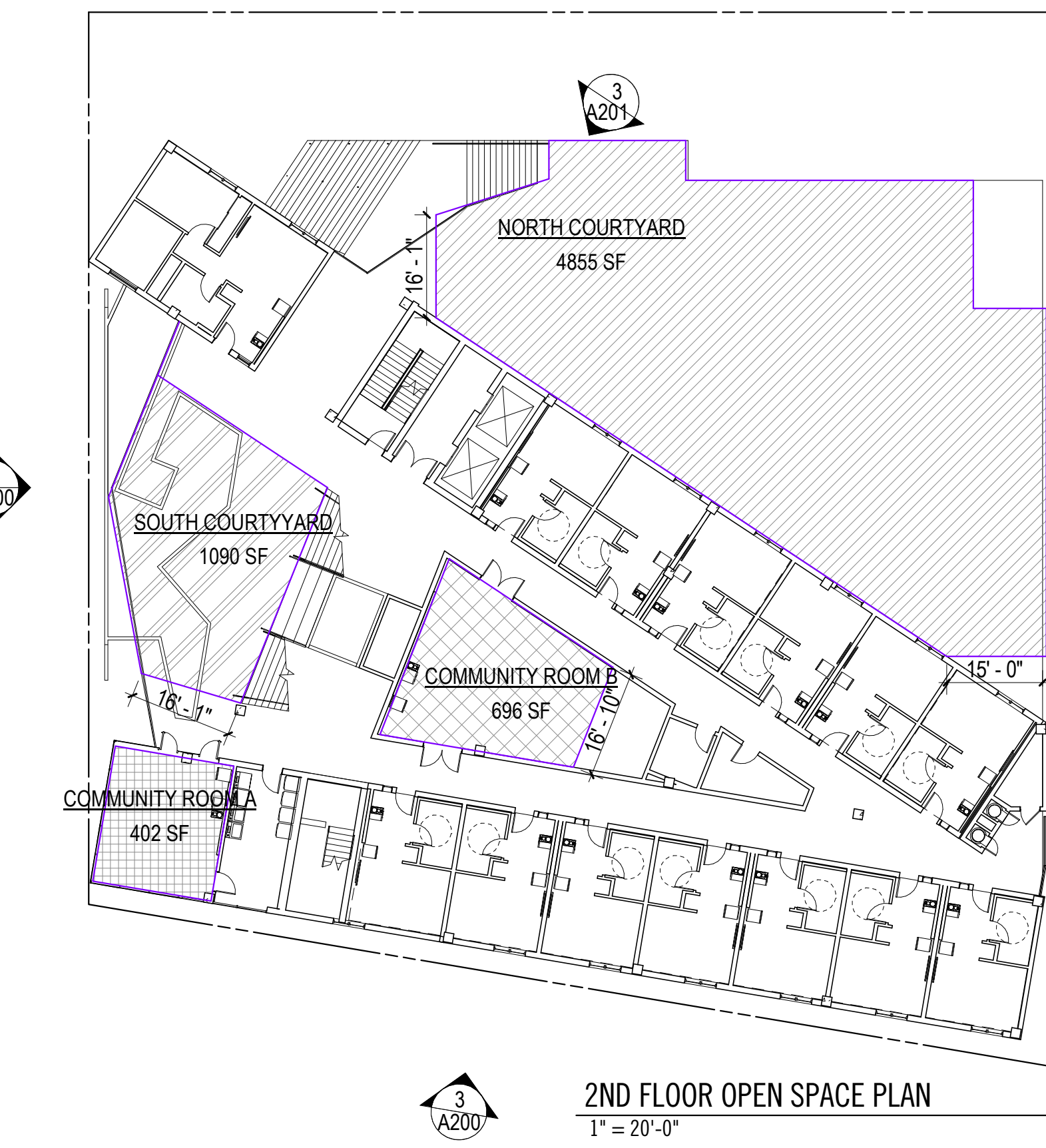


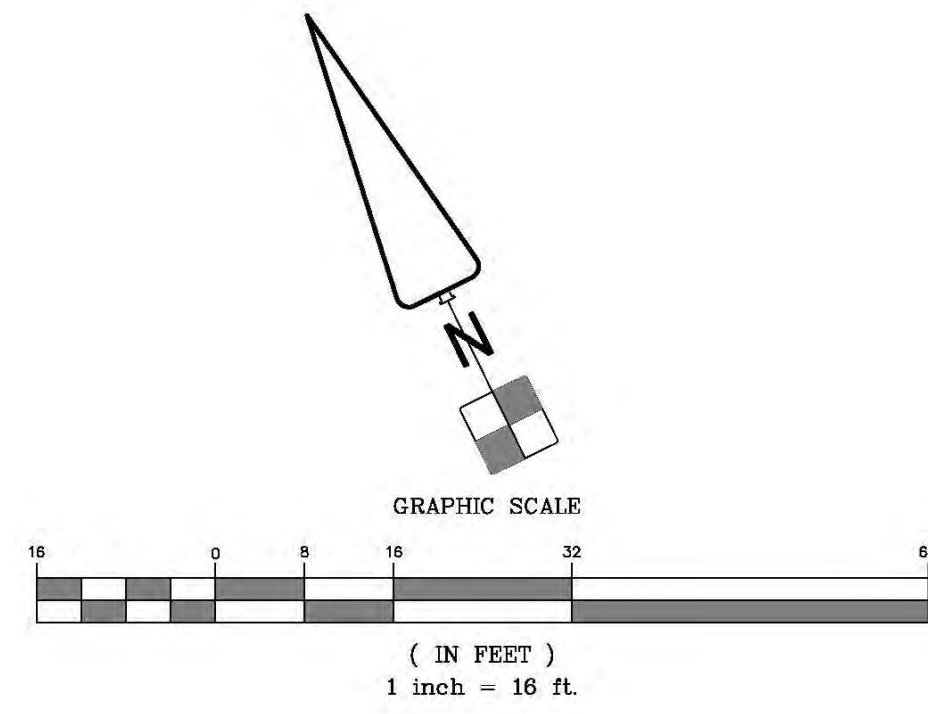
EXHIBIT "A"

Page No. 4 of 22
Case No. CPC-2021-2544-GPAJ-VZCJ-SPR-PSH-HCA

A.L.T.A. / N.S.P.S. Land Title Survey

Downtown Women's Center

Sheet 2 of 2 Sheets

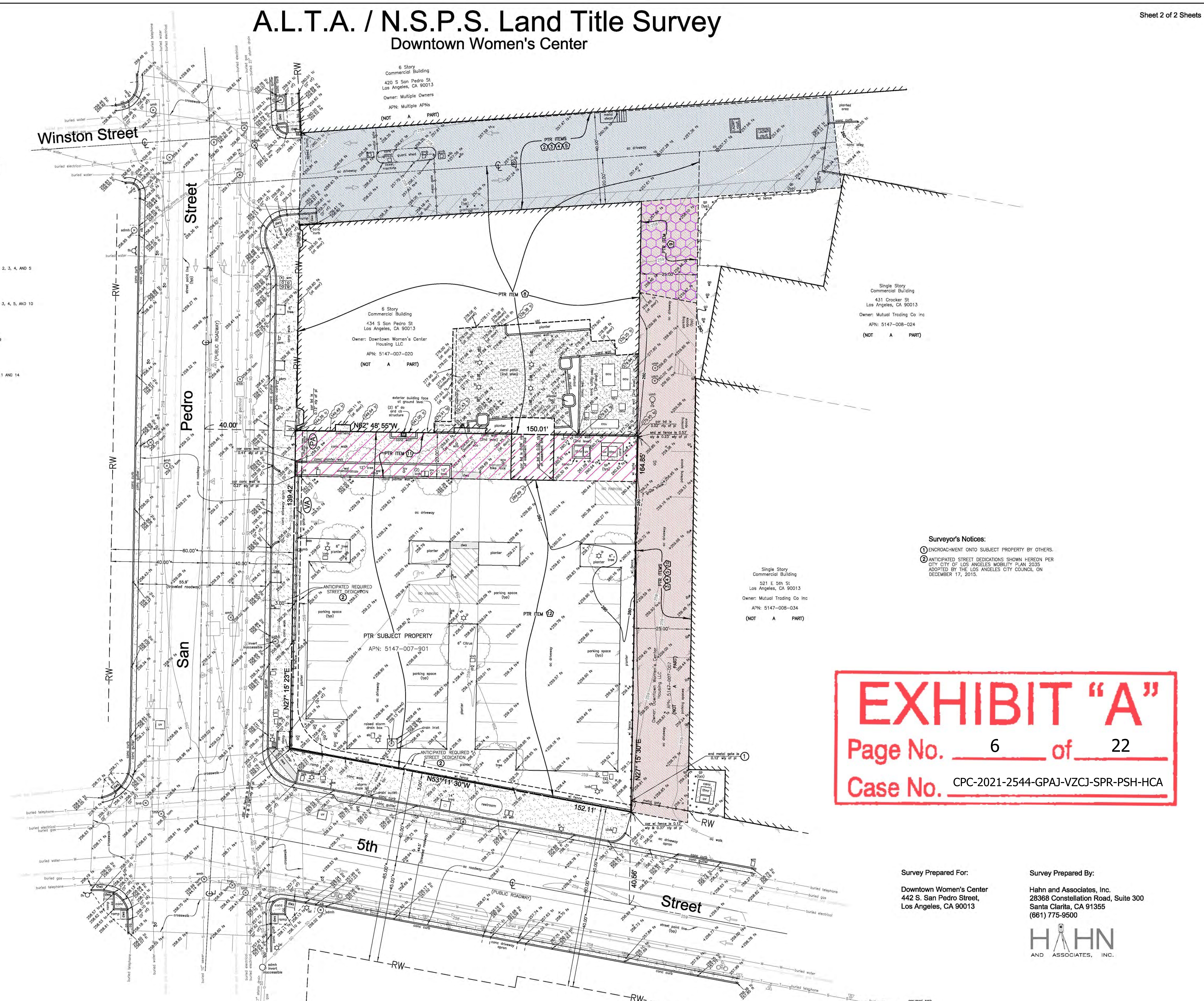


Legend:

- ac = asphalt concrete
- ccu = air conditioning unit
- lpmh = Pacific Bell manhole
- bw = bottom wall
- cb = catch basin
- cc = concrete curb
- af = curb face
- cg = concrete gutter
- co = clean out
- con = concrete
- cor = corner
- ctvb = cable television box
- des = detectable warning surface
- emh = electrical manhole
- ff = finish floor
- fh = fire hydrant
- fl = flowline
- fs = finish surface
- gb = grade break
- gmb = gate meter box
- gp = guard post
- gv = gas valve
- icv = irrigation control valve
- icvb = irrigation control valve box
- lp = lamp post
- pl = property line
- pkm = parking meter
- sca = sewer cleanout
- admh = storm drain manhole
- sl = street light
- slb = street light box
- smh = sewer manhole
- ss = street sign
- tc = top of curb
- trns = transformer
- tg = top of grate
- th = stop door threshold
- trmh = telephone manhole
- top = top of box
- tom = top of manhole
- tp = top of parapet
- tr = top of roof
- ts = top of step
- tab = traffic signal box
- lal = traffic signal light
- tw = top of wall
- typ = typical
- ub = utility box
- uc = utility closet
- ubl = upper building line
- uc = utility closet
- ul = utility lot
- umh = utility manhole
- uv = utility vault
- wf = wrought iron
- wm = water meter
- wl = water supply line
- wv = water valve
- ny = northerly
- sy = southerly
- we = westerly
- ye = easterly
- hp = handicap parking
- pl = property line
- cl = centerline
- RW = right of way
- S = buried sewer
- W = buried water
- G = buried gas
- SD = buried storm drain
- T = buried telephone/communication
- E = buried electrical
- = refers to driving lane and direction of traffic
- PA = Pedestrian access to building/property
- VA = Vehicle access to building/property
- * = right-of-way width per LA County Tax Assessor's Map
- △ = buried sewer lateral

Easement Legend:

- = PTR ITEMS 2, 3, 4, AND 5
- = PTR ITEMS 3, 4, 5, AND 10
- = PTR ITEM 9
- = PTR ITEM 11 AND 14



Surveyor's Notices:

- 1 ENCROACHMENT ONTO SUBJECT PROPERTY BY OTHERS.
- 2 ANTICIPATED STREET DEDICATIONS SHOWN HEREON PER CITY OF LOS ANGELES MOBILITY PLAN 2035 ADOPTED BY THE LOS ANGELES CITY COUNCIL ON DECEMBER 17, 2015.

EXHIBIT "A"
 Page No. 6 of 22
 Case No. CPC-2021-2544-GPAJ-VZCJ-SPR-PSH-HCA

Survey Prepared For:
 Downtown Women's Center
 442 S. San Pedro Street,
 Los Angeles, CA 90013

Survey Prepared By:
 Hahn and Associates, Inc.
 28368 Constellation Road, Suite 300
 Santa Clarita, CA 91355
 (661) 775-9500



DOWNTOWN WOMEN'S CENTER
 501 E 5TH STREET
 LOS ANGELES, CA 90013

DOWNTOWN WOMEN'S CENTER
 442 SOUTH SAN PEDRO ST
 LOS ANGELES, CA 90013

PLANNING SUBMITTAL
 CHECKSET
 JOB NUMBER:
 2021-003
 DATE:
 07.07.2021
 REVISION:

SHEET TITLE:
SURVEY

SHEET NUMBER:
G081



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DOWNTOWN WOMEN'S CENTER

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CHECKSET**

JOB NUMBER:
2021-003
DATE:
07.07.2021
REVISIONS:

**SHEET TITLE:
PLOT PLAN**

SHEET NUMBER:
A00
TOTAL SHEETS: 1

PROJECT INFORMATION

PROJECT NAME: DOWNTOWN WOMEN'S CENTER
ADDRESS: 501 E 5TH ST, LOS ANGELES, CA 90013
OWNER: DOWNTOWN WOMEN'S CENTER
PROJECT DESCRIPTION: 97 UNITS OF RESTRICTED AFFORDABLE PERMANENT SUPPORTIVE HOUSING STUDIO UNITS & 1 (2-BEDROOM) MANAGER UNIT OVER 1 LEVEL OF SUBTERRANEAN PARKING
CONSTRUCTION TYPE: TYPE IIIA OVER TYPE IA
ZONING: M2-2D (EXISTING)
[T]Q[C]2-2D (PROPOSED)
FLOOR ZONE: X
SITE AREA: 29,596 SF
SET BACKS: PER ZI-2385 GREATER DOWNTOWN HOUSING INCENTIVE:
FRONT: NONE REQUIRED
SIDE: NONE REQUIRED
REAR: NONE REQUIRED
ALLOWABLE DENSITY: 1 DWELLING PER 200 SF (DEVELOPED PER R5)
29,596 SF (LOT AREA)/200 SF/DFU = 148 UNITS
UNLIMITED DENSITY ALLOWED PER ZI-2385 GREATER DOWNTOWN HOUSING INCENTIVE
PROPOSED DENSITY: 98 UNITS (97 STUDIOS + 1 MANAGER UNIT)
ALLOWABLE BLDG HEIGHT: UNLIMITED
PROPOSED BLDG HEIGHT: 85'-0" (7 STORIES)
OCCUPANCY TYPE: R-2 RESIDENTIAL
S-2 PARKING GARAGE
B OFFICES

FLOOR AREA RATIO

LOT AREA: 29,596 SF
MULTIPLIER: 3.0:1
ALLOWABLE FAR: LOT AREA X MULTIPLIER
= 29,596 SF X 3 = 88,788 SF
PROPOSED FAR: 68,869 SF/29,596 SF: 1
2.33:1

LEVEL	FAR	AREA (SF)
1ST FLOOR	RESIDENTIAL	15253
2ND FLOOR	RESIDENTIAL	9390
3RD FLOOR	RESIDENTIAL	9088
4TH FLOOR	RESIDENTIAL	8929
5TH FLOOR	RESIDENTIAL	8816
6TH FLOOR	RESIDENTIAL	8620
7TH FLOOR	RESIDENTIAL	8773
GRAND TOTAL		68869

MEASUREMENT PER LAMC 12.03:
AREA IN SQUARE FEET CONTAINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING:
EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMPS, SPACE FOR THE LANDING AND STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.

OPEN SPACE REQUIRED

OPEN SPACE REQUIREMENTS PER LAMC 12.21 G:
100 SF/UNIT < 3 HABITABLE ROOMS (STUDIO & 1 BR UNITS)
125 SF/UNIT = 3 HABITABLE ROOMS (2 BR UNITS)
175 SF/UNIT > 3 HABITABLE ROOMS (3 BR UNITS)
NOTE:
1. A KITCHEN IS NOT CONSIDERED A HABITABLE ROOM FOR PURPOSES OF CALCULATING OPEN SPACE.
PERCENT OF LANDSCAPED OPEN SPACE
LANDSCAPED OPEN 25%.

NAME	# OF UNITS	REQ'D OPEN SPACE
STUDIO UNIT	97	9700 SF
MANAGER'S UNIT	1	125 SF
Grand total		9825 SF

UNIT COUNT

UNIT TYPE	NUMBER OF BEDROOMS	QUANTITY
STUDIO UNIT	0	97
MANAGER'S UNIT	2	1
GRAND TOTAL		98

OPEN SPACE PROPOSED

LEVEL	NAME	Area
INDOOR		
1ST FLOOR	COMMUNITY ROOM	1339 SF
2ND FLOOR	COMMUNITY ROOM A	402 SF
2ND FLOOR	COMMUNITY ROOM B	696 SF
		2437 SF
OUTDOOR		
1ST FLOOR	ENTRY COURTYARD	1651 SF
2ND FLOOR	NORTH COURTYARD	4855 SF
2ND FLOOR	SOUTH COURTYARD	1090 SF
		7596 SF
GRAND TOTAL		10034 SF

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
THAT PORTION OF LOT "A" OF TRACT NO. 1133, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18 PAGE 109 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT "A", THENCE ALONG THE WESTERLY LINE OF SAID LOT NORTH 27 DEGREES 15' EAST 139.38 FEET, MORE OR LESS, TO THE SOUTHWEST CORNER OF THE LAND DESCRIBED IN THE DEED TO THOMAS E. GIBBON RECORDED ON MAY 10, 1933 AS INSTRUMENT NO. 795 IN BOOK 12127 PAGE 254 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE ALONG THE SOUTHWESTERLY LINE OF THE LAND DESCRIBED IN SAID DEED, SOUTHEASTERLY 150 FEET, MORE OR LESS, IN A DIRECT LINE, TO A POINT IN THE WESTERLY LINE OF THE STRIP OF LAND DESCRIBED IN PARCEL 2 OF THE DEED TO PATTEN AND DAVIES LUMBER COMPANY, RECORDED ON MAY 19, 1924 AS INSTRUMENT NO. 32 IN BOOK 3073 PAGE 332 OF SAID OFFICIAL RECORDS, SAID POINT BEING DISTANT SOUTH 27 DEGREES 15' WEST 102.97 FEET ALONG SAID WESTERLY LINE FROM THE SOUTHERLY LINE OF THE 40 FOOT RIGHT OF WAY ESTABLISHED BY AGREEMENT BETWEEN H.D. BOWMAN AND WIFE, AND CENTRAL PROPERTIES COMPANY, RECORDED ON MAY 6, 1922 AS INSTRUMENT NO. 16 IN BOOK 1053 PAGE 271 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE ALONG SAID WESTERLY LINE OF SAID STRIP OF LAND SOUTH 27 DEGREES 15' WEST 164.70 FEET, MORE OR LESS, TO THE SOUTHWESTERLY LINE OF SAID LOT "A"; THENCE ALONG SAID SOUTHWESTERLY LINE NORTH 53 DEGREES 12' WEST 152.11 FEET, MORE OR LESS TO THE POINT OF BEGINNING.

PARKING REQUIRED

NO PARKING REQUIRED. PER AB 1763 TABLE 22.120.080-A PARKING RATIOS, NOTE 7: NO PARKING REQUIRED FOR SUPPORTIVE HOUSING DEVELOPMENT, AS DEFINED IN SECTION 50675.14 OF THE CALIFORNIA HEALTH AND SAFETY CODE.

PARKING PROPOSED

PARKING SCHEDULE (STALL SIZE)	
LEVEL P1	
COMPACT	11
STANDARD	33
TANDEM	12
LEVEL P1	56
1ST FLOOR	
ACCESSIBLE	3
STANDARD	1
1ST FLOOR	4
GRAND TOTAL	60

LEGEND

- PROPOSED GROUND FLOOR FOOTPRINT
- PROPOSED UPPER FLOORS FOOTPRINT
- EXISTING NEIGHBORHOOD BUILDINGS (NOT A PART)
- LANDSCAPE AREA
- ACCESSIBLE PATH OF TRAVEL
- INDICATES STRUCTURES TO BE DEMOLISHED

BIKE PARKING

REQUIRED LONG TERM BIKE PARKING.
UNITS 1-25 = 1 PER 1 UNIT = 25/1 = 25 SPACES
UNITS 26-100 = 1 PER 1.5 UNITS = 73/1.5 = 49 SPACES
= **74 SPACES REQUIRED**
REQUIRED SHORT TERM BIKE PARKING.
UNITS 1-25 = 1 PER 10 UNITS = 25/10 = 2.5 SPACES
UNITS 26-100 = 1 PER 15 UNITS = 73/15 = 4.9 SPACES
= **8 SPACES REQUIRED**
PROVIDED LONG TERM BIKE PARKING = 74 SPACES
PROVIDED SHORT TERM BIKE PARKING = 8 SPACES

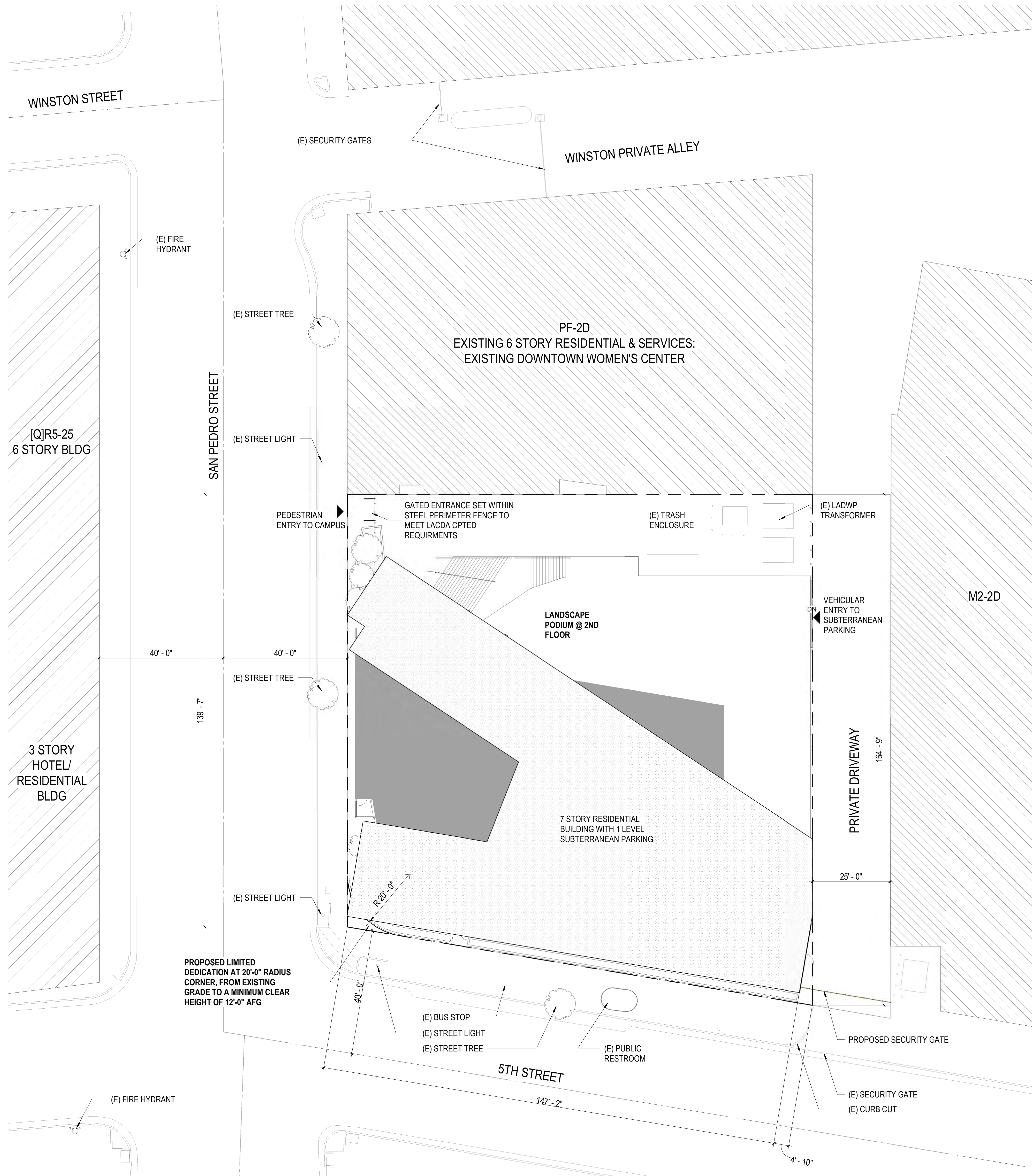
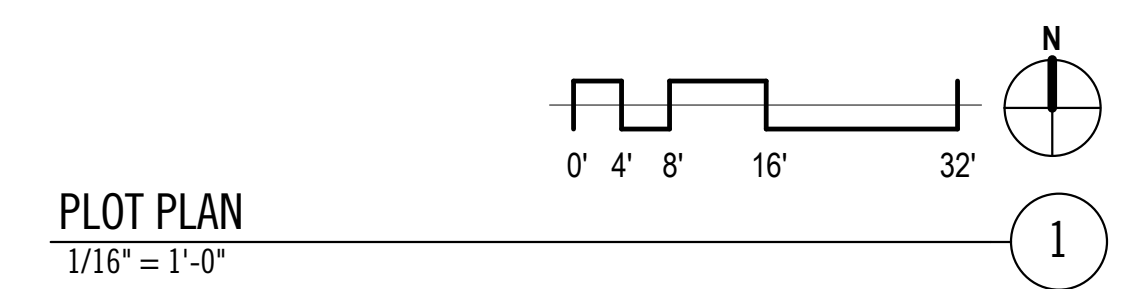


EXHIBIT "A"
Page No. 7 of 22
Case No. CPC-2021-2544-GPAJ-VZCJ-SPR-PSH-HCA



PLOT PLAN
1/16" = 1'-0"



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**PLANNING SUBMITTAL
CHECKSET**

JOB NUMBER:
2021-003
DATE:
07.07.2021
REVISIONS:

SHEET TITLE:
LEVEL P1 PLAN

SHEET NUMBER:
A101

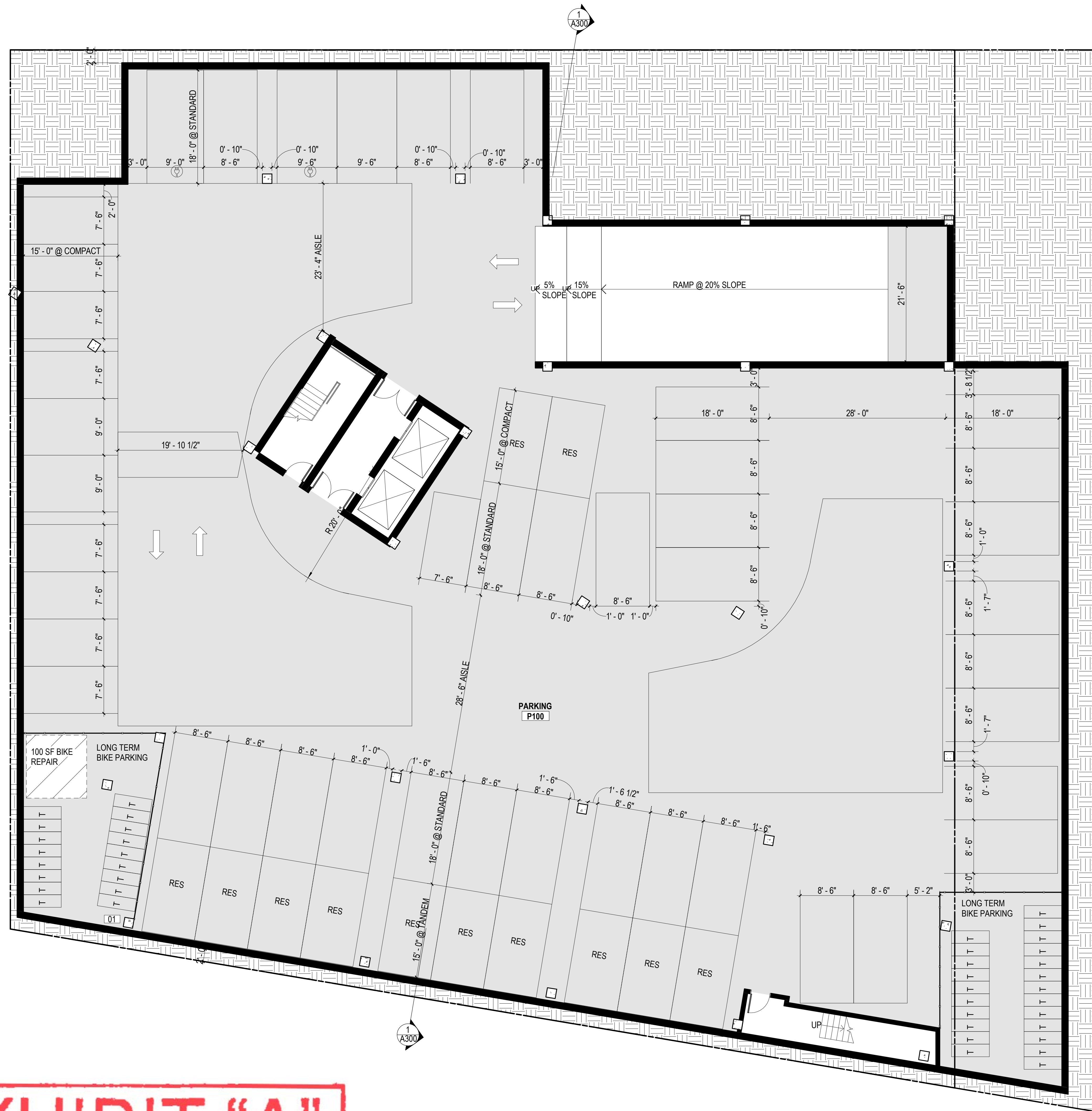
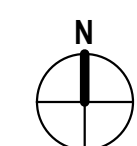


EXHIBIT "A"
Page No. 8 of 22
Case No. CPC-2021-2544-GPAJ-VZCJ-SPR-PSH-HCA

LEVEL P1 PLAN
1/8" = 1'-0"



NOTES



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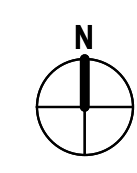
**PLANNING SUBMITTAL
 CHECKSET**
 JOB NUMBER:
 2021-003
 DATE:
 07.07.2021
 REVISIONS:

SHEET TITLE:
FIRST FLOOR PLAN

SHEET NUMBER:
A110
TRACED BY: KFA



1ST FLOOR PLAN
 1/8" = 1'-0"



5



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PLANNING SUBMITTAL CHECKSET

PROJECT NUMBER:
2021-003
DATE:
07.07.2021
REVISIONS:

SECOND FLOOR PLAN

SHEET NUMBER:
A120

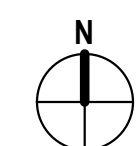
NOTES

01



EXHIBIT "A"
 Page No. 10 of 22
 Case No. CPC-2021-2544-GPAJ-VZCJ-SPR-PSH-HCA

2ND FLOOR PLAN
1/8" = 1'-0"



5



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PLANNING SUBMITTAL CHECKSET

PROJECT NUMBER:
2021-003
DATE:
07.07.2021

REVISIONS:

NO.	DATE	DESCRIPTION

SHEET TITLE: THIRD FLOOR PLAN

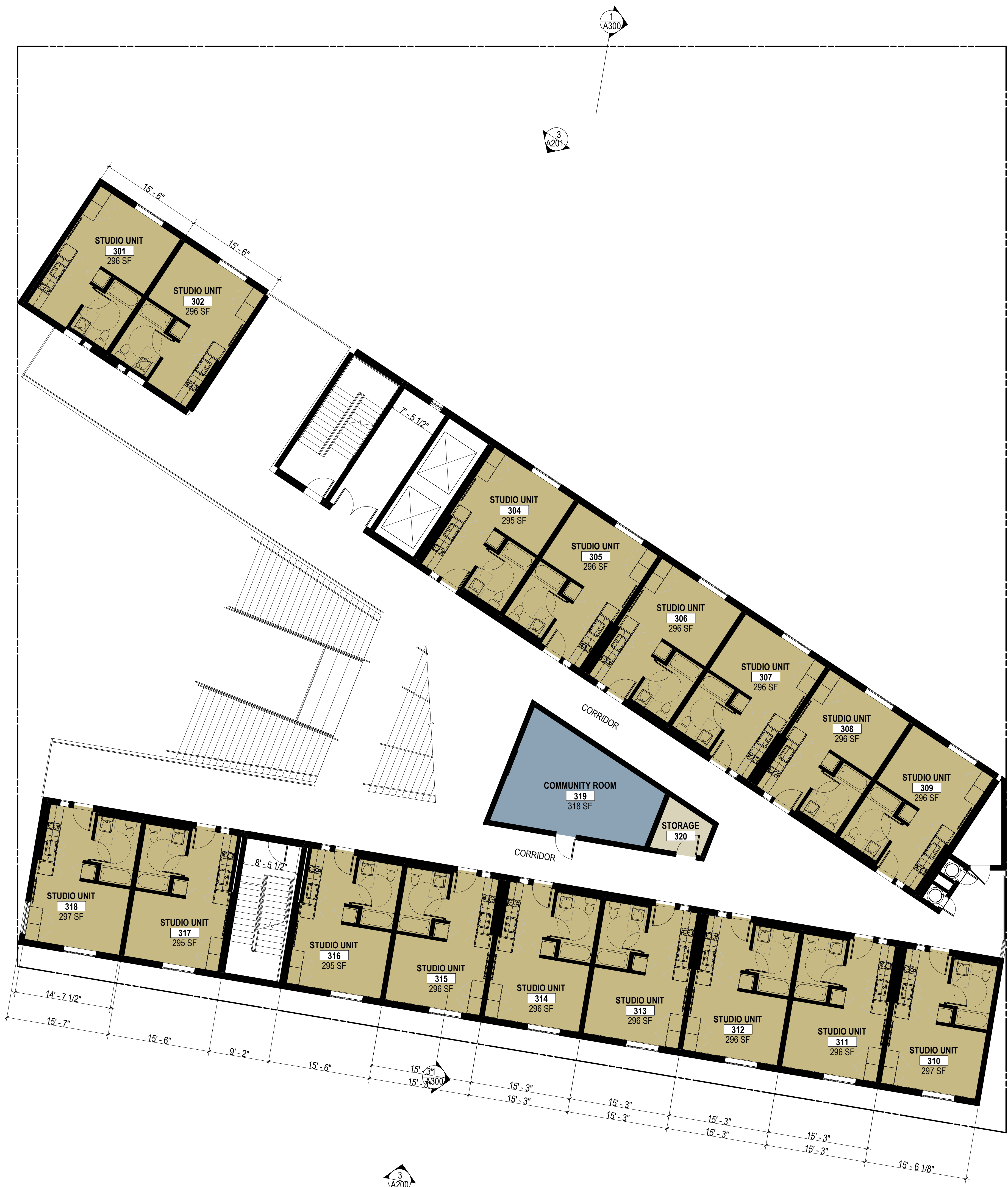
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DATE: 7/13/21

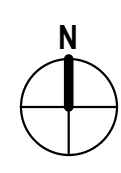
NOTES

01

EXHIBIT "A"
Page No. 11 of 22
Case No. CPC-2021-2544-GPAJ-VZCJ-SPR-PSH-HCA



3RD FLOOR PLAN
1/8" = 1'-0"



5



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PLANNING SUBMITTAL CHECKSET

PROJECT NUMBER:
2021-003

DATE:
07.07.2021

REVISIONS:

SHEET TITLE: FOURTH FLOOR PLAN

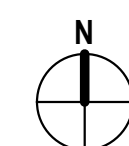
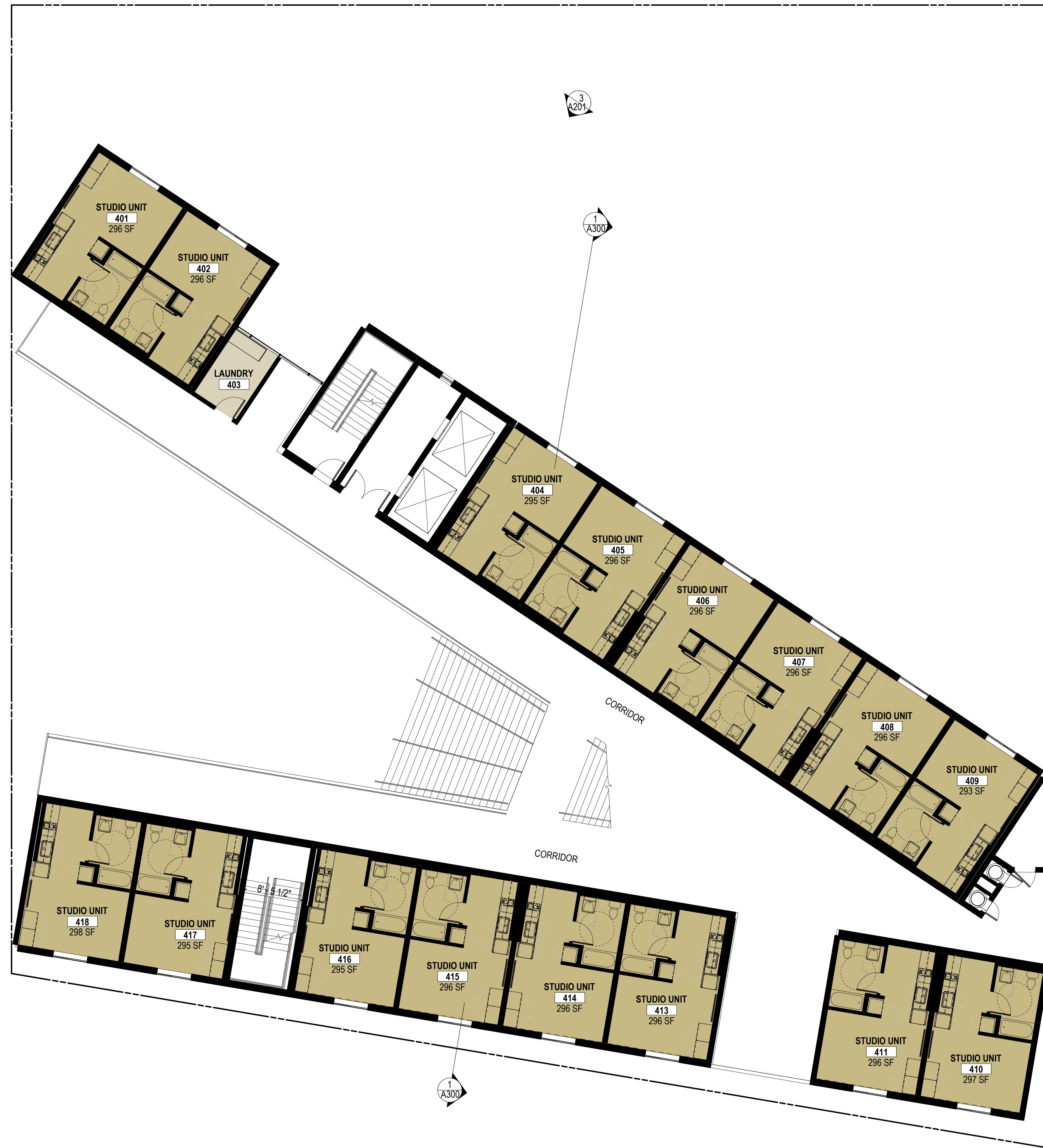
SHEET NUMBER:
A140

7/20/21 11:52 PM

NOTES

01

EXHIBIT "A"
Page No. 12 of 22
Case No. CPC-2021-2544-GPAJ-VZCJ-SPR-PSH-HCA



4TH FLOOR PLAN
1/8" = 1'-0"

5



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PLANNING SUBMITTAL CHECKSET

PROJECT NUMBER:
2021-003
DATE:
07.07.2021
REVISED:

SHEET TITLE: FIFTH FLOOR PLAN

SHEET NUMBER:
A150
TOTAL SHEETS: 22

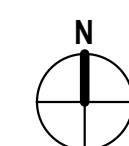
NOTES

01

EXHIBIT "A"
Page No. 13 of 22
Case No. CPC-2021-2544-GPAJ-VZCJ-SPR-PSH-HCA



5TH FLOOR PLAN
1/8" = 1'-0"



5



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PLANNING SUBMITTAL CHECKSET

PROJECT NUMBER:
2021-003
DATE:
07.07.2021
REVISIONS:

SIXTH FLOOR PLAN

SHEET NUMBER:
A160
TRUST 7/13/2021

NOTES

01

EXHIBIT "A"
Page No. 14 of 22
Case No. CPC-2021-2544-GPAJ-VZCJ-SPR-PSH-HCA



5
A200

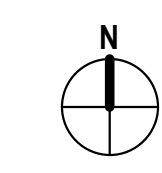
3
A201

1
A300

5
A201

1
A300

3
A200



5

6TH FLOOR PLAN
1/8" = 1'-0"



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PLANNING SUBMITTAL CHECKSET

PRO NUMBER:
 2021-003
 DATE:
 07.07.2021
 REVISIONS:

SEVENTH FLOOR PLAN

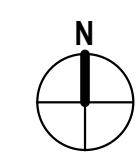
SHEET NUMBER:
A170

NOTES

EXHIBIT "A"
 Page No. 15 of 22
 Case No. CPC-2021-2544-GPAJ-VZCJ-SPR-PSH-HCA



7TH FLOOR PLAN
 1/8" = 1'-0"



1



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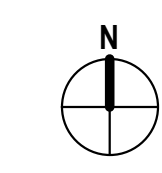
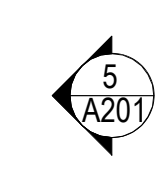
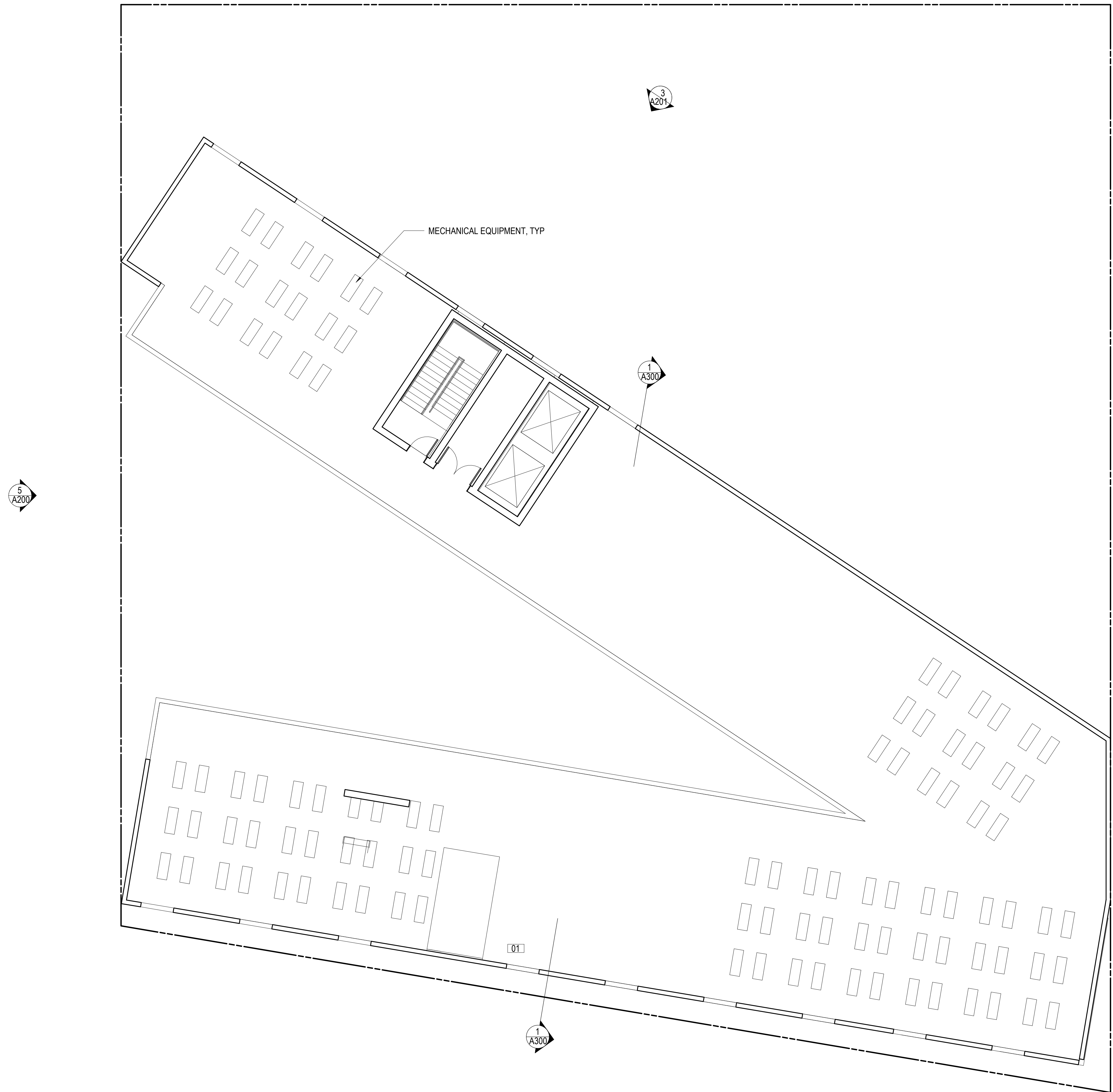
PLANNING SUBMITTAL CHECKSET

PRO NUMBER:
 2021-003
 DATE:
 07.07.2021
 REVISED:

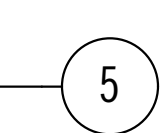
SHEET TITLE: ROOF PLAN

SHEET NUMBER: A180

EXHIBIT "A"
 Page No. 16 of 22
 Case No. CPC-2021-2544-GPAJ-VZCJ-SPR-PSH-HCA



ROOF PLAN
 1/8" = 1'-0"





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PLANNING SUBMITTAL CHECKSET

JOB NUMBER:
2021-003

DATE:
07.07.2021

REVISIONS:

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
A200

DATE: 7.13.2021



TOP OF STAIRS +349 - 11"
PARAPET +342.92
ROOFTOP +337.75
7TH FLOOR +326.58
6TH FLOOR +316.25
5TH FLOOR +305.92
4TH FLOOR +295.58
3RD FLOOR +285.25
2ND FLOOR +273.25
1ST FLOOR +259.25
LOWEST POINT +257.94

7'-0"
5'-2"
11'-2"
10'-4"
10'-4"
10'-4"
10'-4"
10'-4"
12'-0"
14'-0"

85'-0" HEIGHT PER LAMC

SOUTH ELEVATION - 5TH STREET
1/8" = 1'-0"

3



TOP OF STAIRS +349 - 11"
PARAPET +342.92
ROOFTOP +337.75
7TH FLOOR +326.58
6TH FLOOR +316.25
5TH FLOOR +305.92
4TH FLOOR +295.58
3RD FLOOR +285.25
2ND FLOOR +273.25
1ST FLOOR +259.25
LOWEST POINT +257.94

5'-2"
11'-2"
10'-4"
10'-4"
10'-4"
10'-4"
10'-4"
12'-0"
14'-0"

85'-0" HEIGHT PER LAMC

WEST ELEVATION - SAN PEDRO STREET
1/8" = 1'-0"

5

EXHIBIT "A"
Page No. 17 of 22
Case No. CPC-2021-2544-GPAJ-VZCJ-SPR-PSH-HCA

MATERIAL LEGEND									
EXISTING DWC BUILDING	PL-1 - WHITE EXT. PLASTER PL-2 - PTD EXT. PLASTER	GL-1 - ALUM. STOREFRONT GL-2 - ALUM. WINDOW W/ OPERABLE PANEL	GL-3 KAL WALL VERTICAL	MT-1 - PTD STEEL GUARDRAIL MT-2 - PTD STEEL GATE	MT-3 - PERFORATED METAL PANELS, PTD	MT-4 - SOLID METAL PANELS, PTD	MT-5 - STEEL FENCE WITH STAINLESS STEEL MESH WITH SOLID PANEL INFILLS TO MATCH MT-4, PTD - SEE ELEV.	MT-6 - EXTERIOR SHADING AT WINDOWS, PTD.	L-4 DROUGHT TOLERANT VERTICAL HORTICULTURE



3573 HAYDEN AVENUE
CULVER CITY, CA 90232
310.399.7975
KFALOSANGELES.COM

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LOS ANGELES, CA 90013

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442 SOUTH SAN PEDRO ST
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PLANNING SUBMITTAL CHECKSET

JOB NUMBER:
2021-003

DATE:
07.07.2021

REVISIONS:

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
A201

7/20/21 11:48 AM



NORTH ELEVATION
1/8" = 1'-0"

3



EAST ELEVATION - PRIVATE DRIVEWAY
1/8" = 1'-0"

5

EXHIBIT "A"
Page No. 18 of 22
Case No. CPC-2021-2544-GPAJ-VZCJ-SPR-PSH-HCA

MATERIAL LEGEND									
EXISTING DWC BUILDING	PL-1 - WHITE EXT. PLASTER PL-2 - PTD EXT. PLASTER	GL-1 - ALUM. STOREFRONT GL-2 - ALUM. WINDOW W/ OPERABLE PANEL	GL-3 KAL WALL VERTICAL	MT-1 - PTD STEEL GUARDRAIL MT-2 - PTD STEEL GATE	MT-3 - PERFORATED METAL PANELS, PTD	MT-4 - SOLID METAL PANELS, PTD	MT-5 - STEEL FENCE WITH STAINLESS STEEL MESH WITH SOLID PANEL INFILLS TO MATCH MT-4. PTD - SEE ELEV.	MT-6 - EXTERIOR SHADING AT WINDOWS, PTD.	L-4 DROUGHT TOLERANT VERTICAL HORTICULTURE

EXHIBIT "A"
 Page No. 19 of 22
 Case No. CPC-2021-2544-GPAJ-VZCJ-SPR-PSH-HCA



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**PLANNING SUBMITTAL
 CHECKSET**

PROJECT NUMBER:
 2021-003
 DATE:
 07.07.2021
 REVISIONS:

BUILDING SECTION

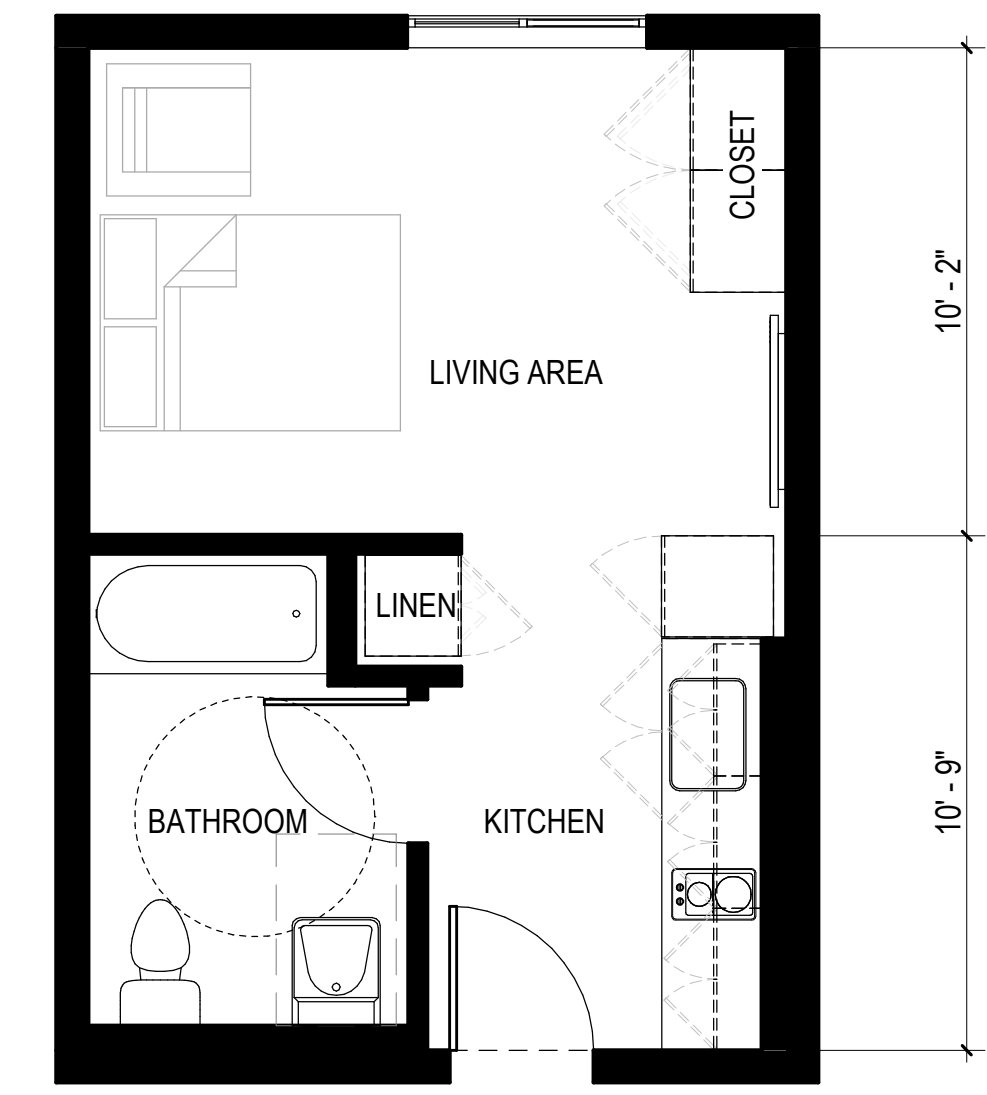
A300



BUILDING SECTION
 1/8" = 1'-0"

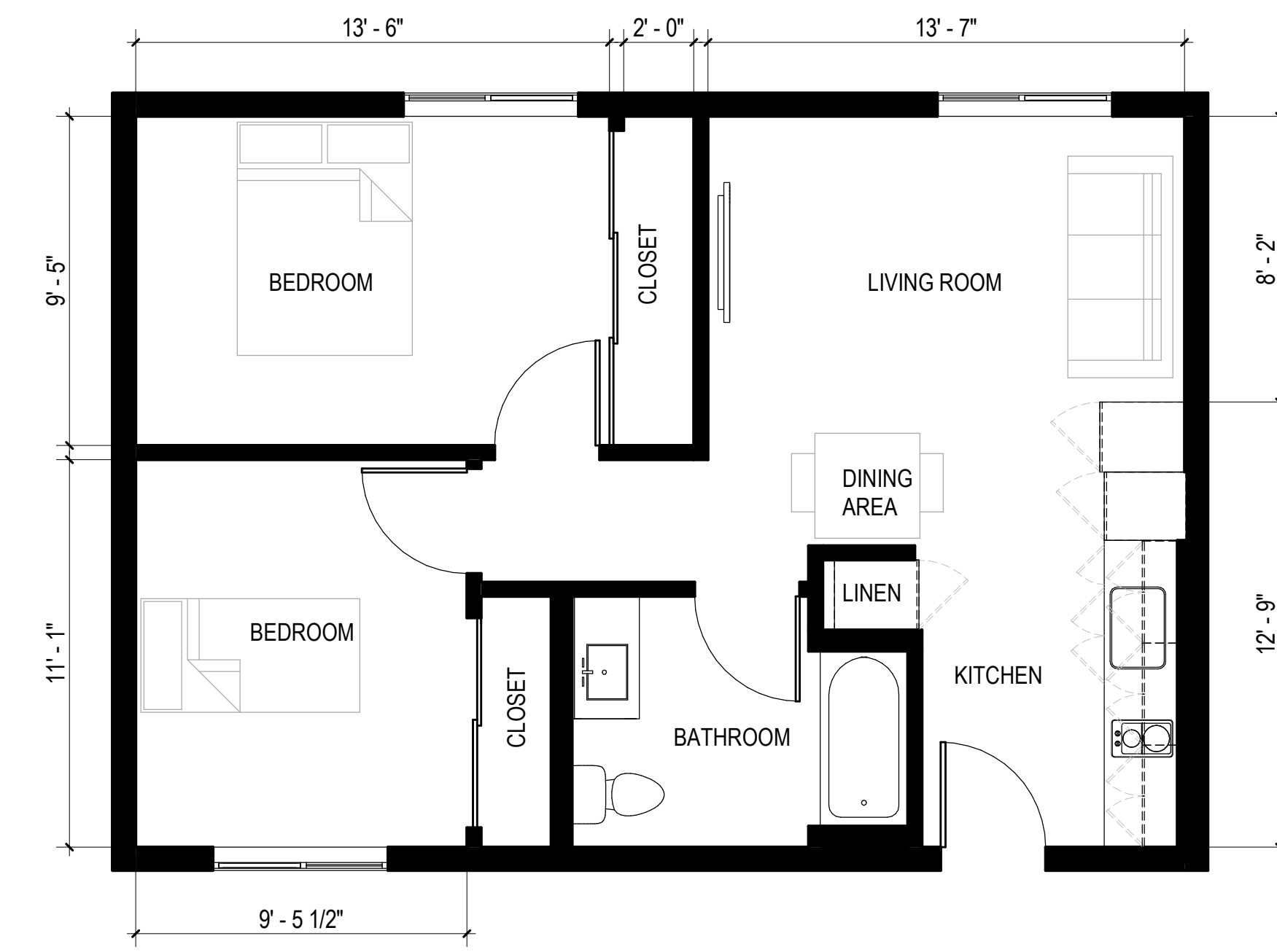
NOTES

EXHIBIT "A"
 Page No. 20 of 22
 Case No. CPC-2021-2544-GPAJ-VZCJ-SPR-PSH-HCA



UNIT - STUDIO (TYP)
 1/4" = 1'-0"

1



UNIT - 2 BEDROOM (MANAGER)
 1/4" = 1'-0"

2

NOTES



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**PLANNING SUBMITTAL
 CHECKSET**

PROJECT NUMBER:
 2021-003
 DATE:
 07.07.2021

REVISIONS:

SHEET TITLE:
ENLARGED PLANS

SHEET NUMBER:
A600

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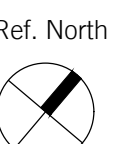
DOWNTOWN WOMEN'S CENTER

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DWC

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LOS ANGELES, CA 90013

Project # : 2113
Drawn by : LS
Scale : AS NOTED



Revisions

Description: Date: No.

ENTITLEMENT 07/07/21



Screen Concept



Parkinsonia x Desert Museum
Desert Museum Palo Verde



Tristania conferta
Brisbane Box



Landscape Forms Lena Planter



Agave 'Blue Flame'
Blue Flame Agave



Agave 'Blue Glow'
Blue Glow Agave



Agave ovatifolia
Whale's Tongue Agave



Bougainvillea White



Grevillea Moonlight
Moonlight Grevillea



Miscanthus transmorisonensis
Evergreen Miscanthus



SITE TREE REQUIREMENTS	
MINIMUM 24" BOX AND PLANTED IN MINIMUM 30" DEPTH	
TREES REQUIRED	
98 UNITS @ 1 TREE/4 UNITS	25
TREES PROVIDED	
LEVEL 1	7
LEVEL 2	18
TOTAL TREES PROVIDED	25

EXHIBIT "A"
 Page No. 21 of 22
 Case No. CPC-2021-2544-GPAJ-VZCJ-SPR-PSH-HCA

[gaskhong landscape and architectural collaborative]
3617 exposition boulevard los angeles ca 90016
310.450.8100 fax 323.727.3290

EXHIBIT "A"

Page No. 22 of 22

Case No. CPC-2021-2544-GPAJ-VZCJ-SPR-PSH-HCA

GARDEN PLANT PALETTE



Dwarf Lemon Tree



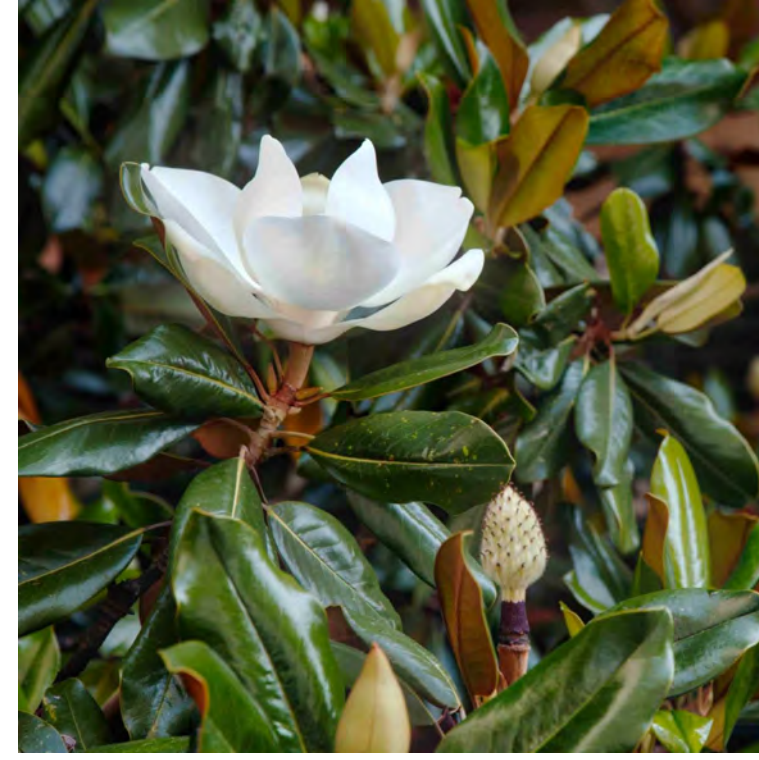
Dwarf Tangerine Tree



Edible Herb Garden



Magnolia grandiflora 'Little Gem'
Little Gem Magnolia



Flower Detail
Little Gem Magnolia



Pittosporum tenuifolium 'Silver Sheen'
Silver Sheen Kouhu



Leaf Detail
Silver Sheen Kouhu



Verbena bonariensis
Purple Top



Lomandra hybrida 'Lime Tuff'
Lime Tuff Mat Rush



Kniphofia 'Orange'
Red Hot Poker

SOUTH COURT PLANT PALETTE



Parkinsonia x Desert Museum
Desert Museum Palo Verde



Lantana camara x Gold
Gold Lantana



Muhlenbergia dubia
Pine Muhly



Verbena bonariensis
Purple Top



- ### DROUGHT TOLERANT PLANT GROUPS
- TREES/ FRUIT TREES
 - VEGETATIVE BUFFER
 - FLOWERING PLANTS/ ORNAMENTAL GRASSES AND GROUNDCOVER
 - ORNAMENTAL GROUNDCOVER
 - HORTICULTURE/ HERB GARDEN
 - MOUNDED LAWN
 - WATER FEATURE

NOTES:

SUSTAINABLE BUILDING METHODS COMPLIANCE CERTIFICATION
OUTDOOR WATER CONSERVATION MEASURES:
THE PROJECT INCORPORATES OUTDOOR WATER CONSERVATION MEASURES THAT INCLUDE:
A) THE USE OF NATIVE OR DROUGHT-TOLERANT PLANTS FOR A MINIMUM OF 75% OF LANDSCAPED AREA. NATIVE OR DROUGHT-TOLERANT PLANT LIST OR THE LOCAL JURISDICTION'S DROUGHT-TOLERANT PLANT LIST, IF REQUIRED TO DO SO BY THE LOCAL JURISDICTION.
B) LIMIT CONVENTIONAL GRASS/TURF TO 25% OF LANDSCAPED AREA
C) GROUP PLANTS WITH SIMILAR WATERING NEEDS (HYDROZONES)
D) INSTALL HIGH EFFICIENCY IRRIGATION SYSTEM WITH SMART IRRIGATION CONTROLS FOR ALL LANDSCAPING

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501 E 5TH STREET
LOS ANGELES, CA 90013

DWC

501 E. 5TH STREET
LOS ANGELES, CA 90013

Project # : 2113
Drawn by : LS
Scale : AS NOTED

Revisions	Date	No.
ENTITLEMENT	07/07/21	1

PROJECT NO: #####
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SHEET TITLE: SECOND FLOOR LANDSCAPE PLAN L2.20

NOT FOR CONSTRUCTION